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Nominated Architect Ray Brown, NSWARB 6359

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issue	amendment	date
Α	Issue for Information	29/11/2019
В	Draft Development Application	16/12/2019
С	Development Application	20/12/2019

## LEGEND:



DENOTES BUILDING / OTHER ∠∠∠∠⊿ ELEMENT TO BE DEMOLISHED



DENOTES TREES TO BE DEMOLISHED

### **DEMOLITION NOTES:**

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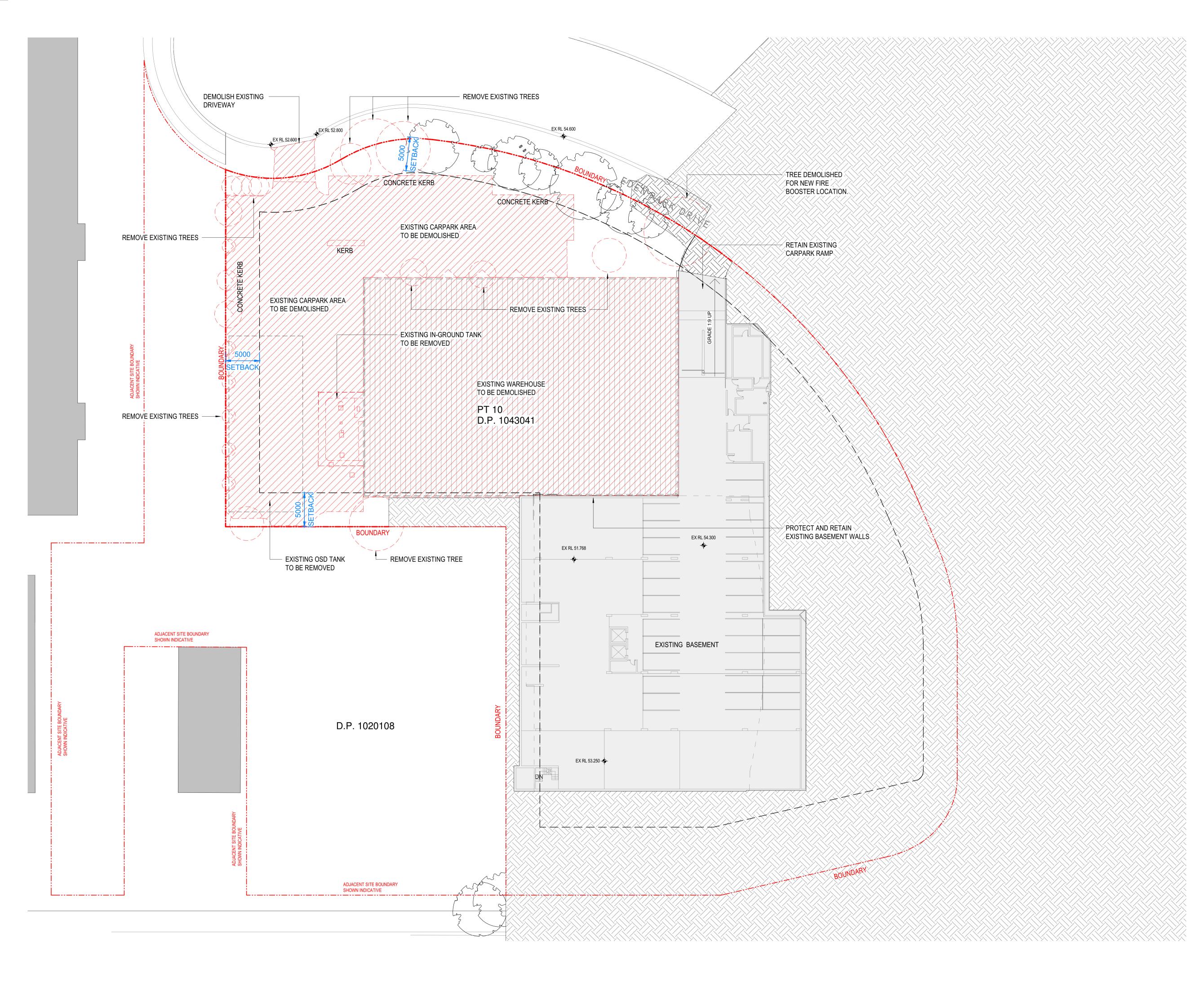
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1 Eden Park Drive

## Basement 2 Demolition Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA0501
checked	AD	issue
project no	190267	С

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Е	Revised Development Application	20/05/2020

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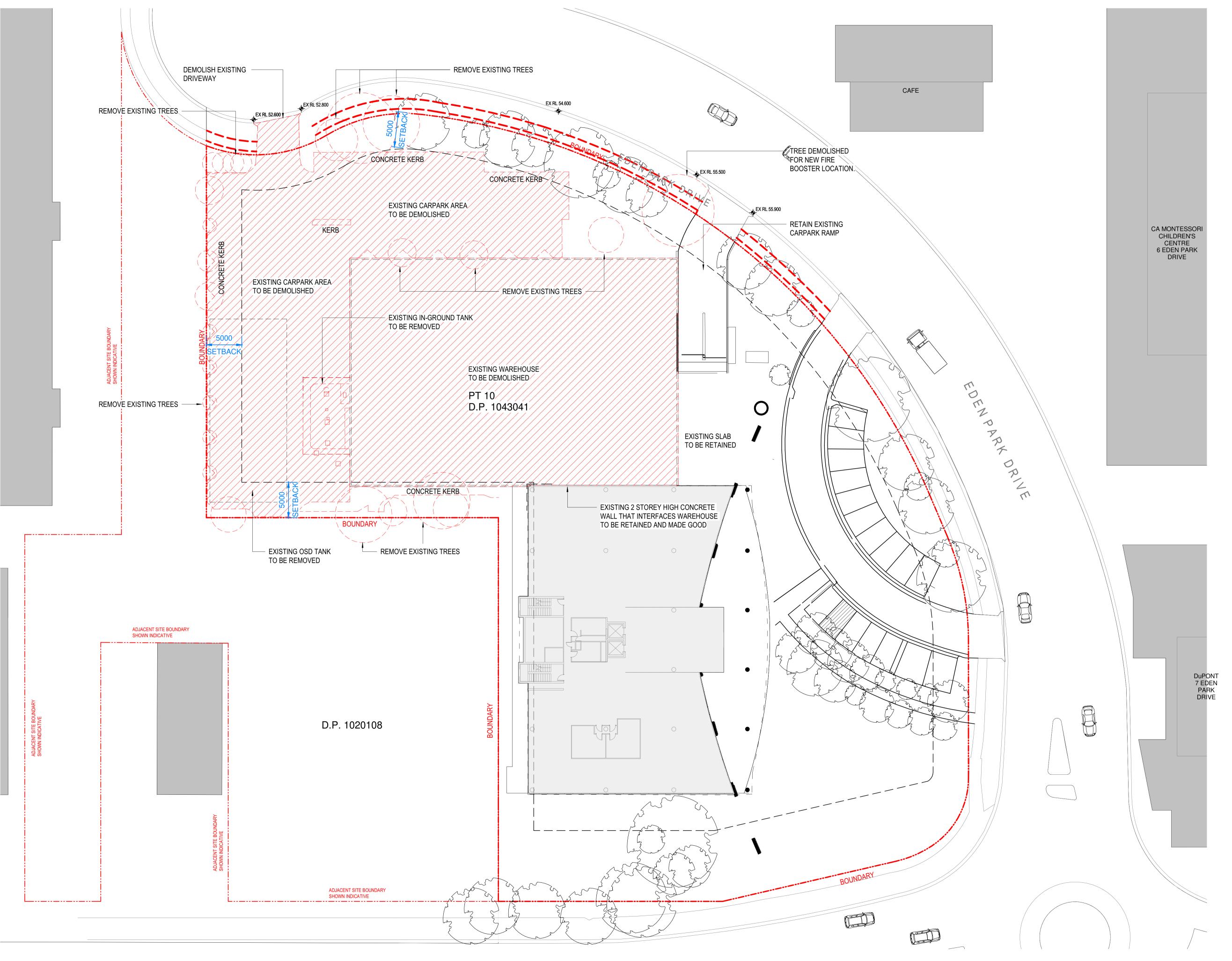
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## Basement 1 Demolition Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA0502
checked	AD	issue
project no	190267	Е

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DENOTES BUILDING / OTHER ELEMENT TO BE



DENOTES TREES TO BE DEMOLISHED

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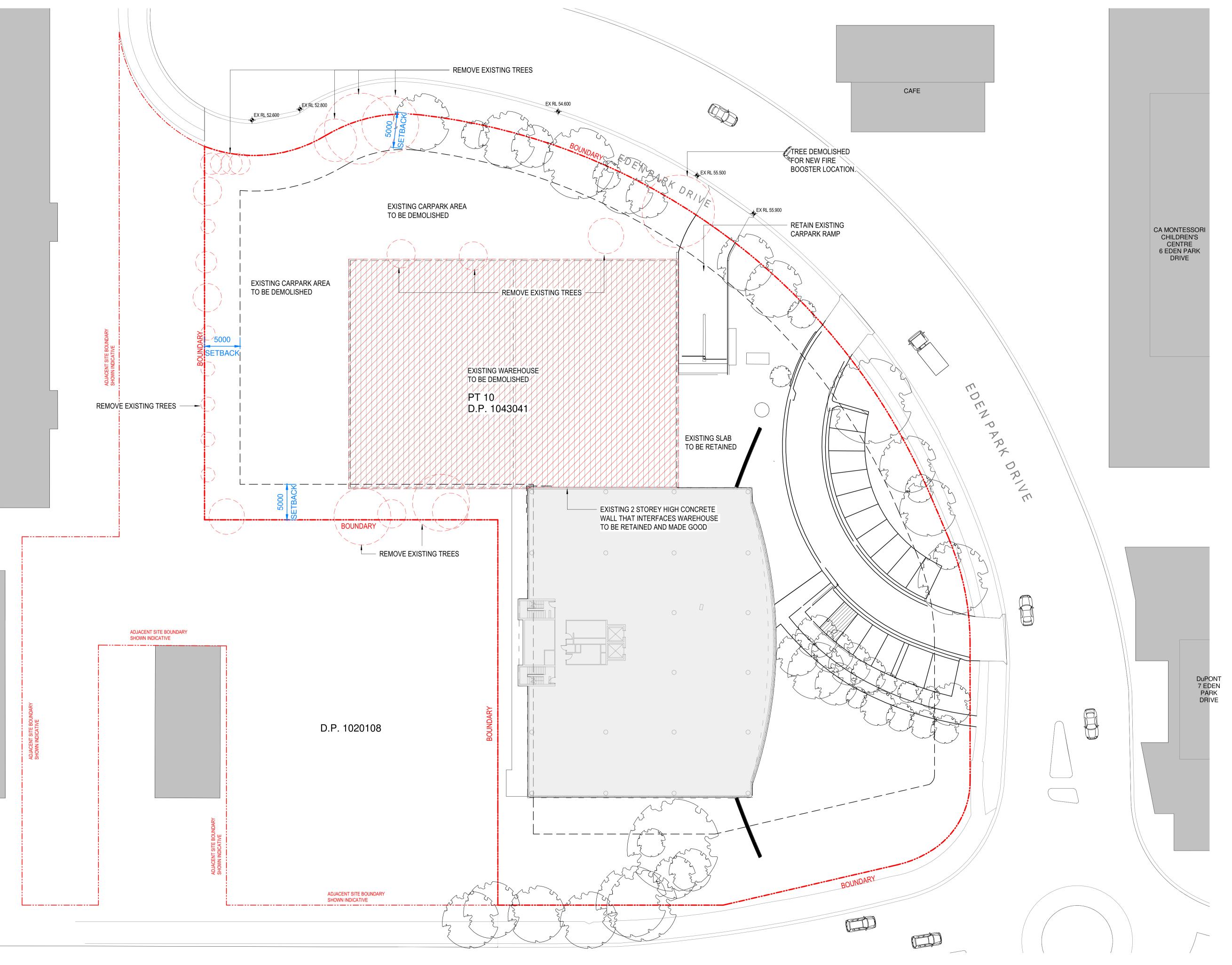
1 Eden Park Drive

drawi

## Ground Floor Demolition Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA0503
checked	AD	issue
project no	190267	Е

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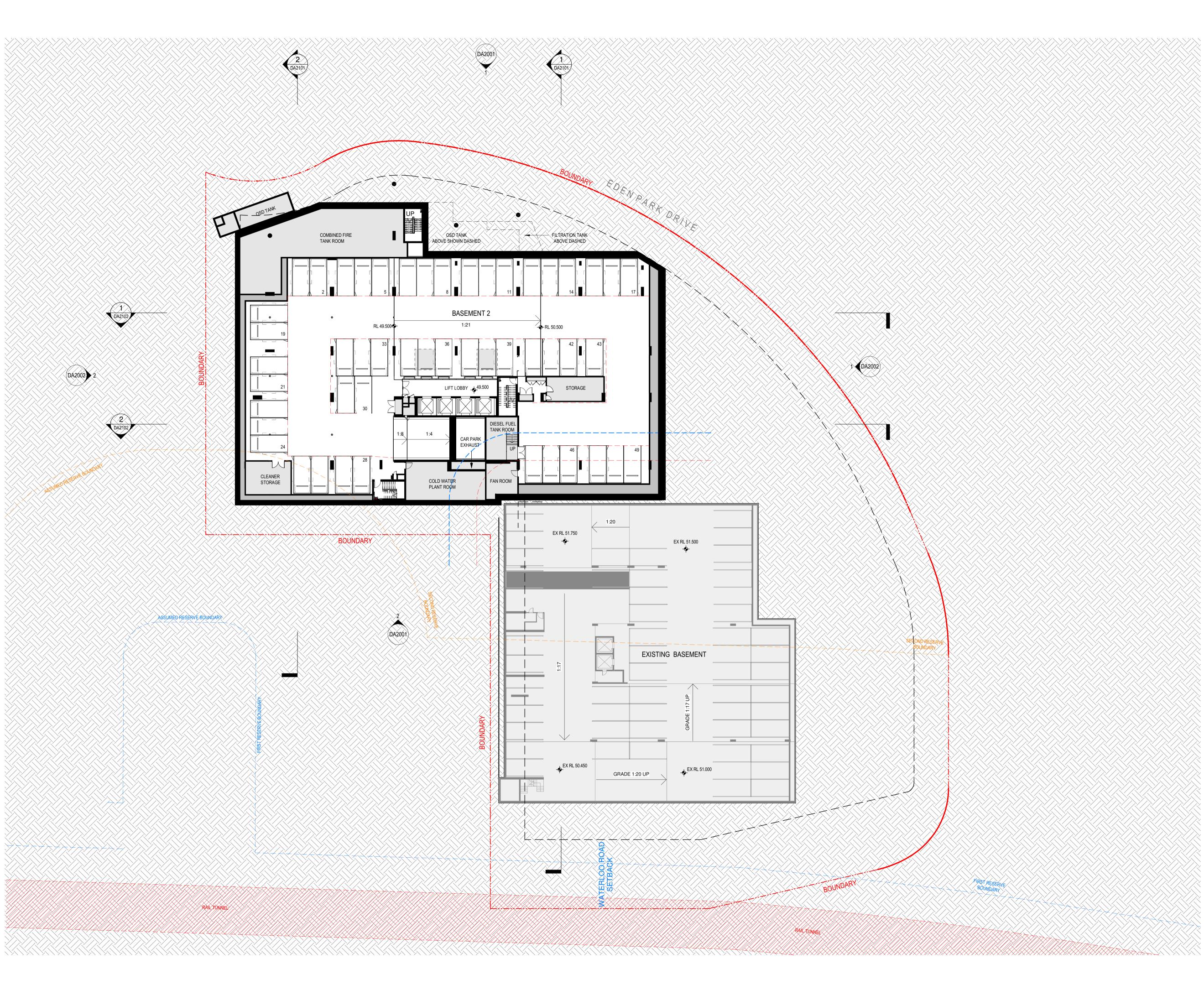
project

drawing

Level 1 Demolition Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA0504
checked	AD	issue
project no	190267	E

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Α	Issue for Information	02/09/2019
В	Issue for Information	13/09/2019
С	Draft Pre-lodgement Design	27/09/2019
D	Pre-lodgement Design Issue	01/10/2019
E	Pre-lodgement Design Issue	09/10/2019
F	Issue for Information	16/10/2019
G	Issue for Information	29/11/2019
Н	Draft Development Application	16/12/2019
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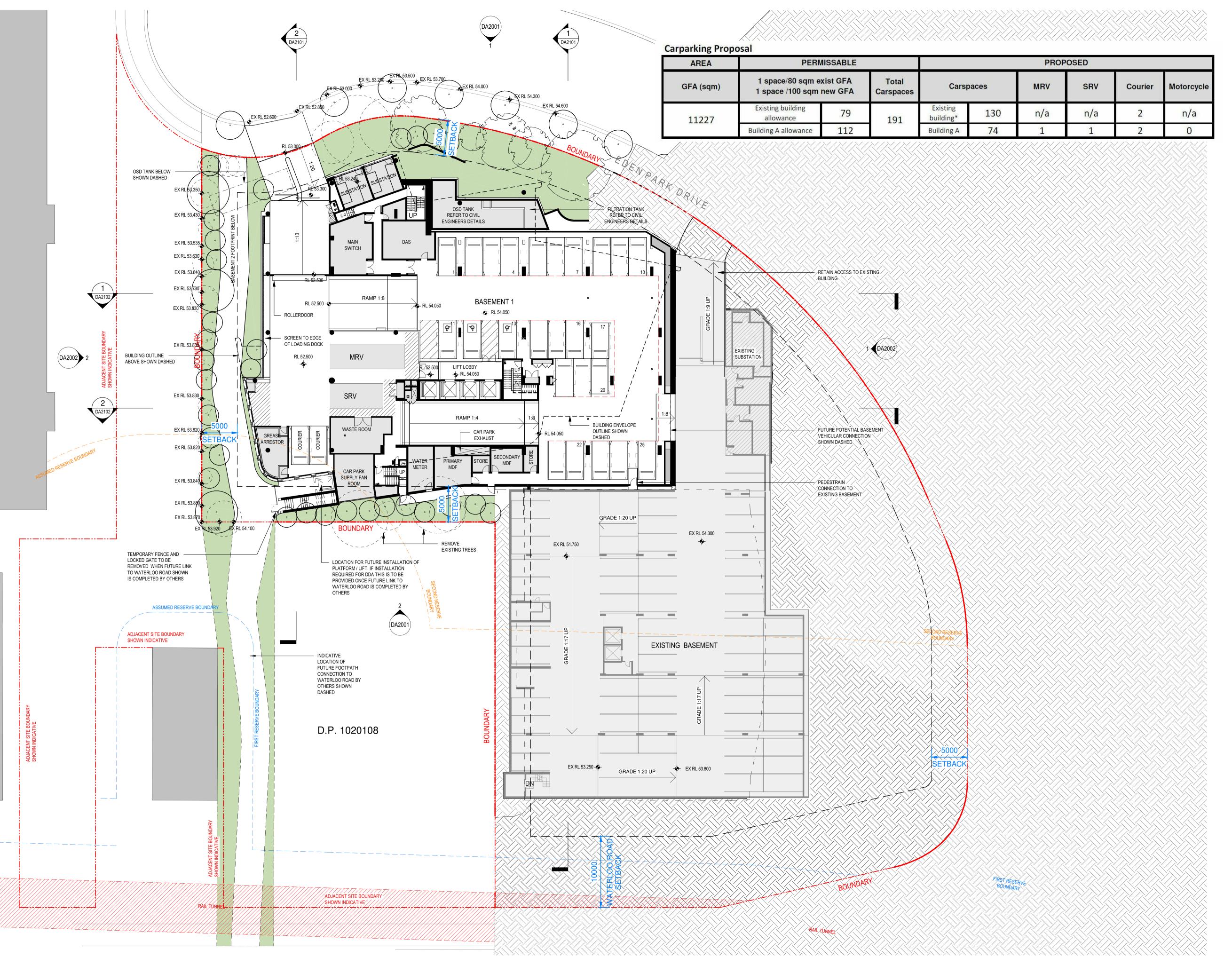
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1 Eden Park Drive

Basement 2 Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA1001
checked	AD	issue
project no	190267	J



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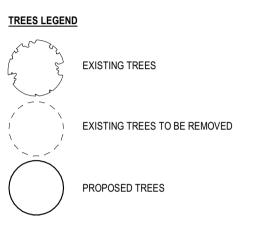
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P Revised Development Application

issue	amendment	date
С	Issue for Information	16/09/2019
D	Issue for Information	23/09/2019
Е	Draft Pre-lodgement Design	27/09/2019
F	Pre-lodgement Design Issue	01/10/2019
G	Pre-lodgement Design Issue	09/10/2019
Н	Issue for Information	16/10/2019
I	Issue for Information	29/11/2019
J	Issue for Information	05/12/2019
K	Draft Development Application	16/12/2019
L	Issue for Information	18/12/2019
M	Development Application	20/01/2020
N	Development Application	29/01/2020
0	Revised Development Application	20/05/2020

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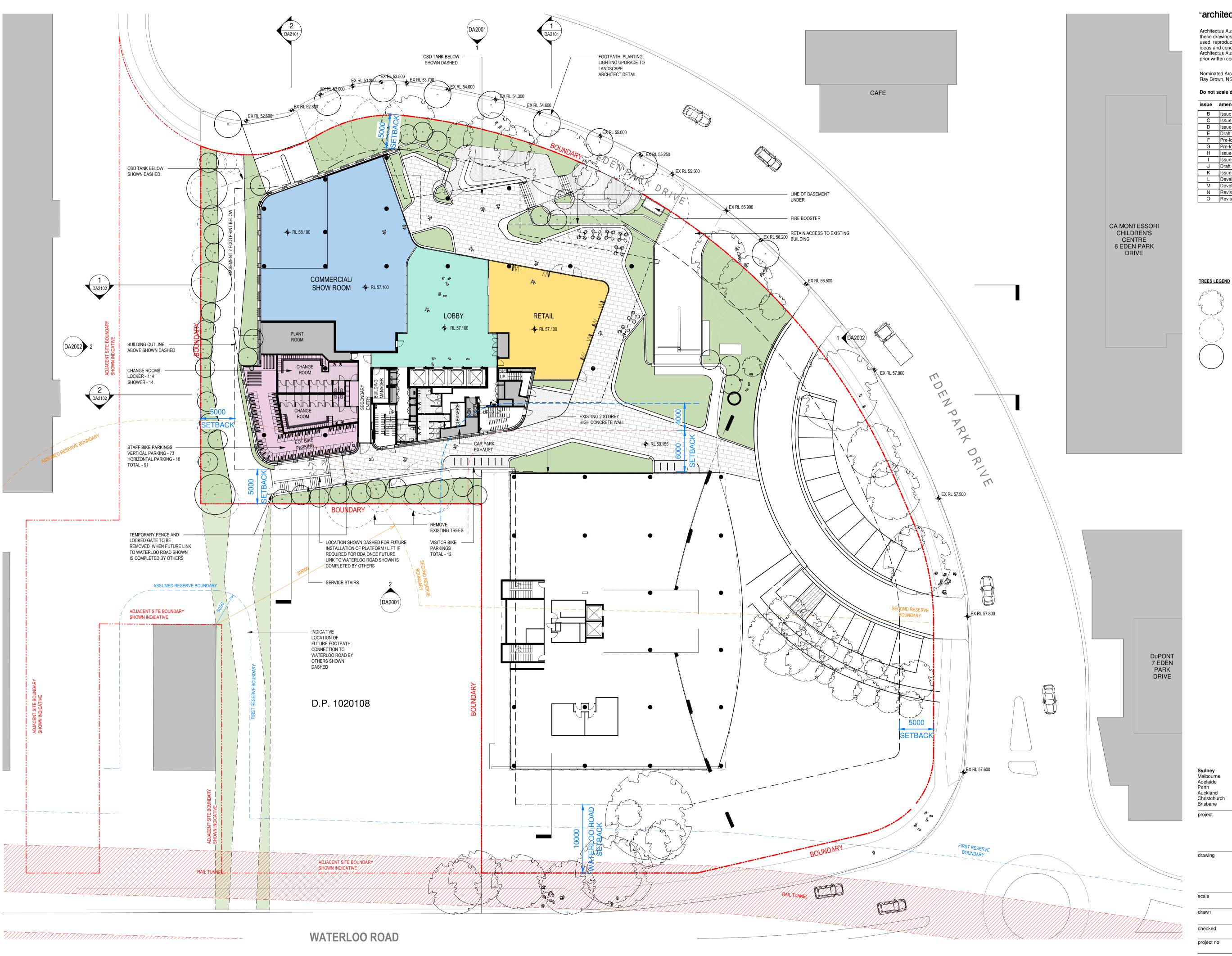
1 Eden Park Drive

drawing

project

Basement 1 Plan

scale	As indicated@A1	drawing no.
drawn	WH	DA1002
checked	AD	issue
project no	190267	Р

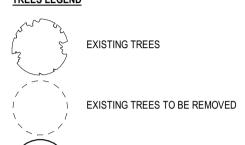


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В	Issue for Client Review	10/09/2019
С	Issue for Information	23/09/2019
D	Issue for Information	26/09/2019
E	Draft Pre-lodgement Design	27/09/2019
F	Pre-lodgement Design Issue	01/10/2019
G	Pre-lodgement Design Issue	09/10/2019
Η	Issue for Information	29/11/2019
- 1	Issue for Information	05/12/2019
J	Draft Development Application	16/12/2019
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L	Development Application	20/01/2020
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PROPOSED TREES



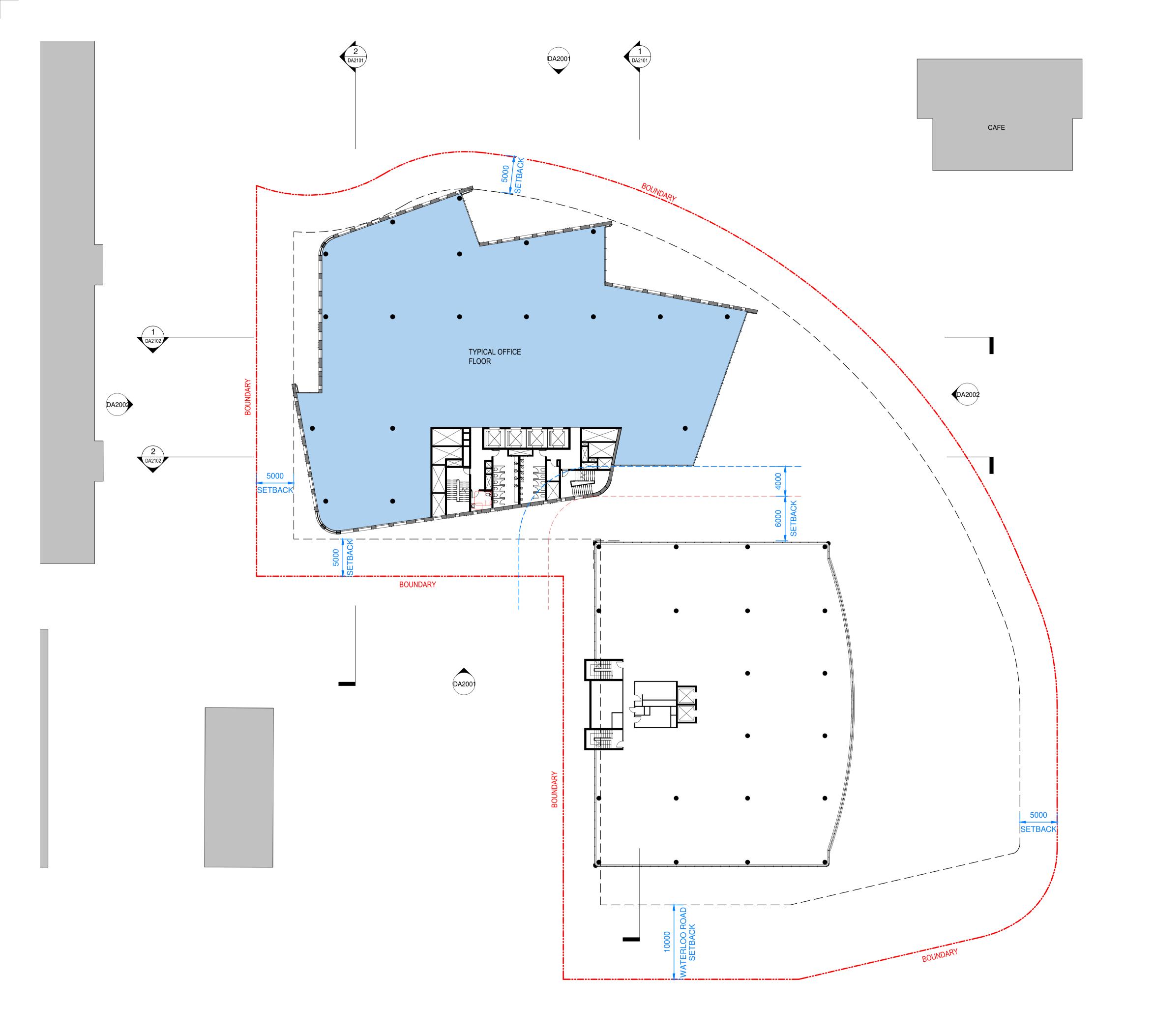
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Ground Floor Plan

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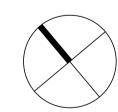
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Н	Pre-lodgement Design Issue	09/10/2019
ı	Issue for Information	29/11/2019
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CA MONTESSORI CHILDREN'S CENTRE 6 EDEN PARK DRIVE

> DuPONT 7 EDEN PARK DRIVE



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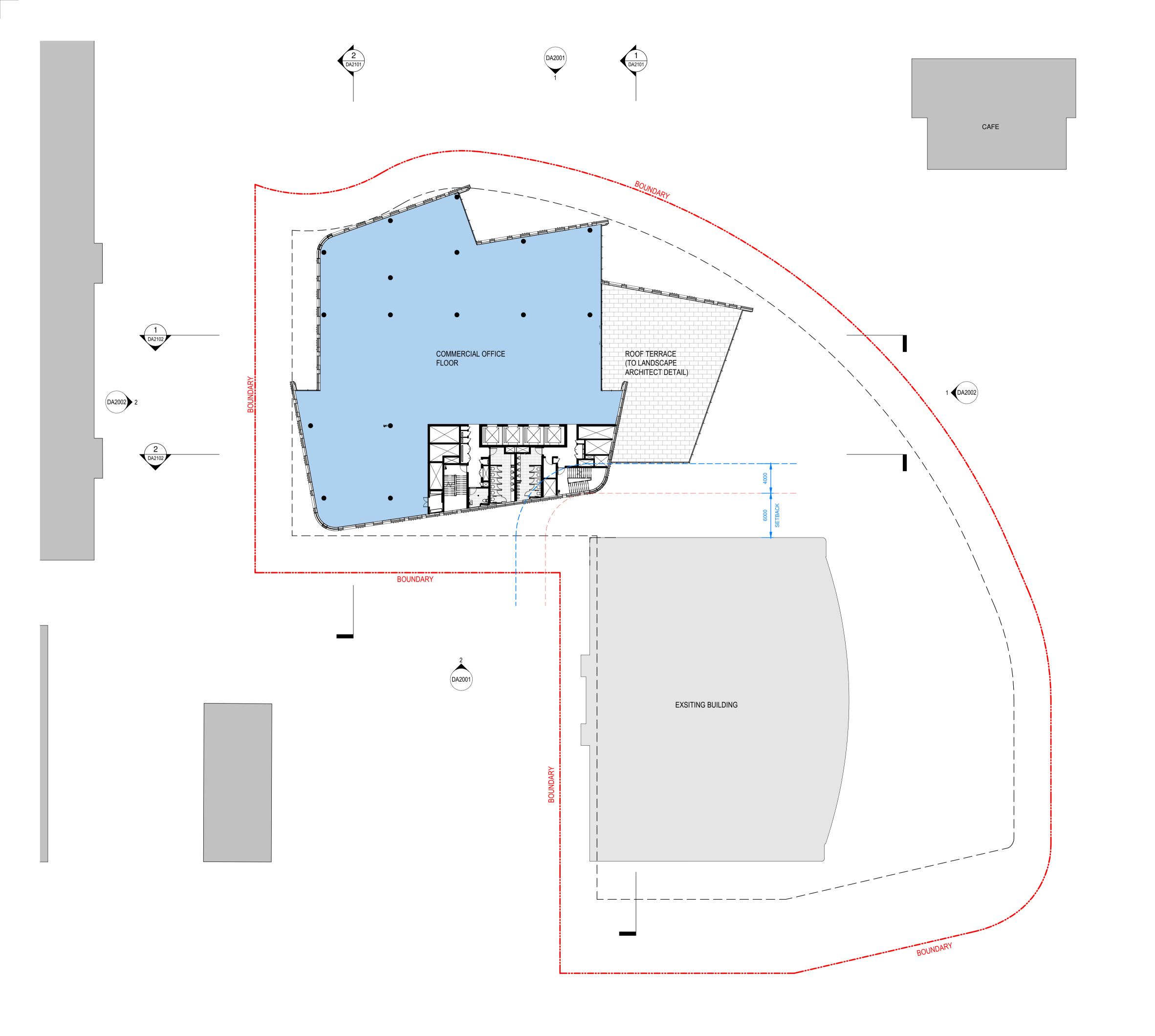
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Level 1-5 Typical Plan

scale	1 : 250@A1	drawing no.
drawn	WH	DA1005
checked	AD	issue
project no	190267	K

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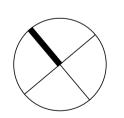
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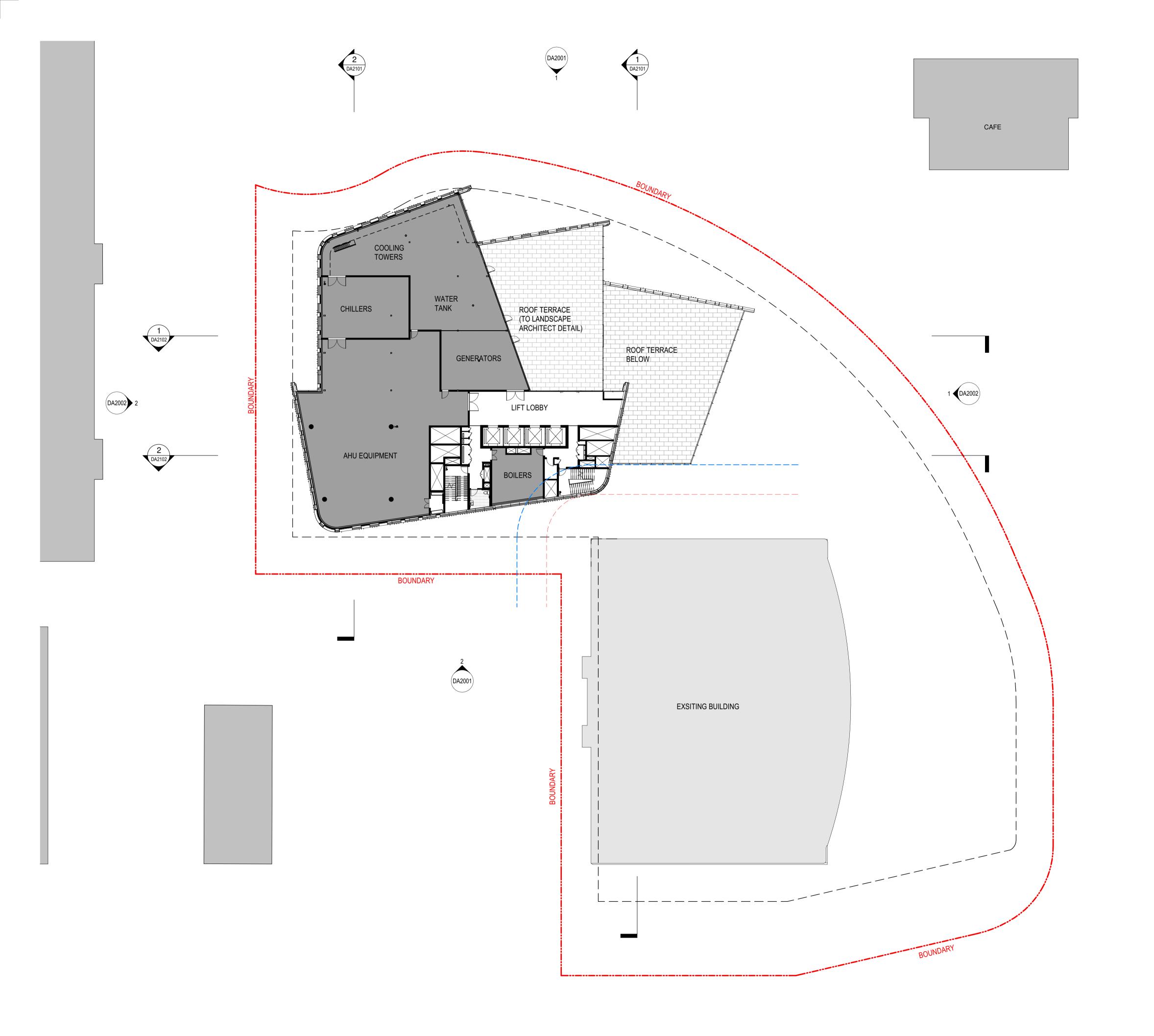
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Level 6 Floor Plan

scale	1 : 250@A1	drawing no.	
drawn	WH	DA1009	
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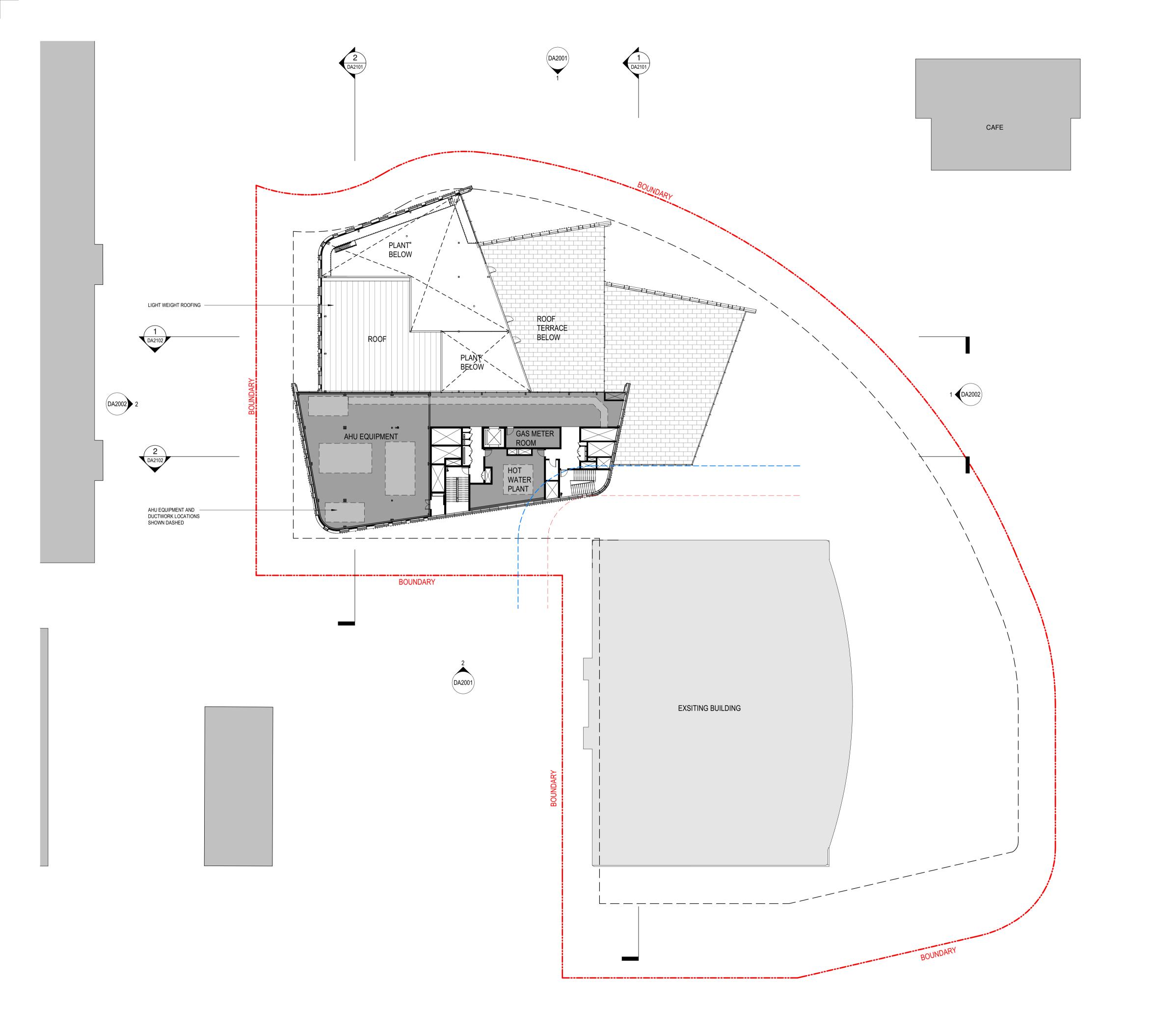
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Level 7 Plant

scale	1 : 250@A1	drawing no.
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checked	AD	issue
project no	190267	ш



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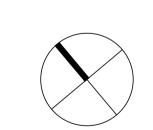
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CA MONTESSORI

CHILDREN'S
CENTRE
6 EDEN PARK
DRIVE

DuPONT 7 EDEN PARK DRIVE Do not scale drawings. Verify all dimensions on site

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1 Eden Park Drive

Level 8 Plant

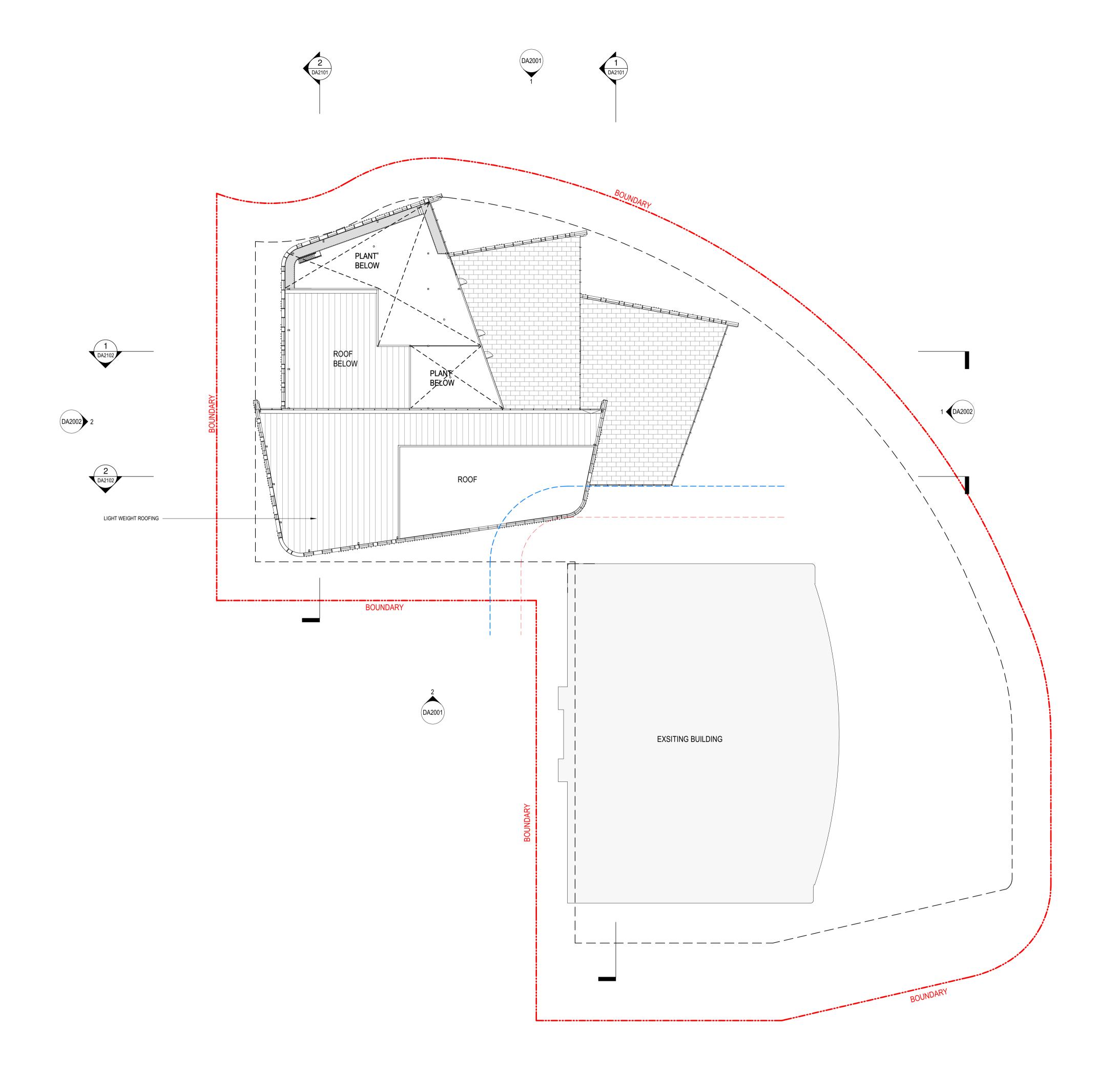
drawing no.

DA1011

Checked AD issue

190267

20/05/2020 12:01:42 PM



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Nominated Architect Ray Brown, NSWARB 6359

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issue	amendment	dat
Α	Draft Pre-lodgement Design	27/09/201
В	Pre-lodgement Design Issue	01/10/201
С	Pre-lodgement Design Issue	09/10/201
D	Draft Development Application	16/12/201
E	Development Application	17/01/202
F	Updated DA Work In Progress	11/05/202
G	Revised Development Application	20/05/202



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Auckland	F (61 2) 8252 86
Christchurch	sydney@architectus.com
Brisbane	ÅBN 90 131 245 6

1 Eden Park Drive

Doof C

Roof Plan drawing no.

1 : 250@A1

drawn

WH

DA1012

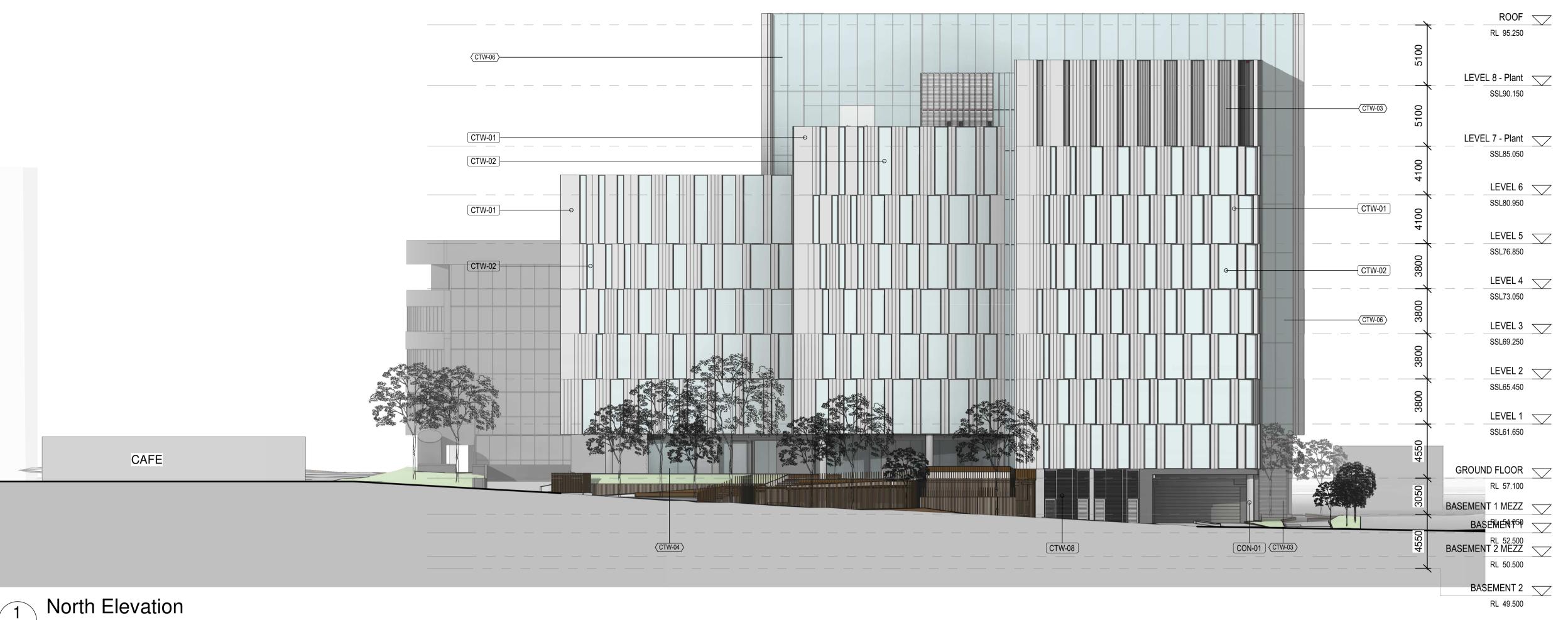
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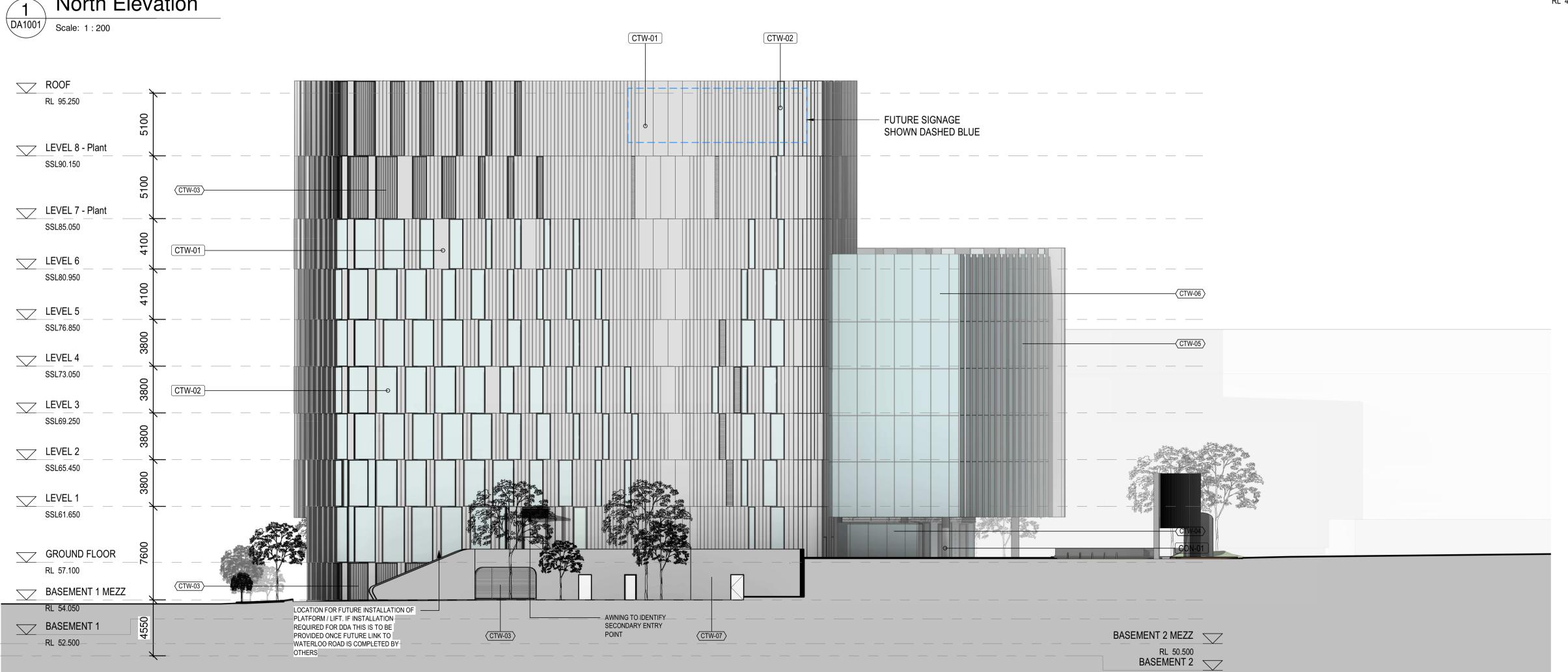
AD

project no

190267

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issue	amendment	date
А	Issue for Information	12/09/2019
В	Draft Pre-lodgement Design	27/09/2019
С	Pre-lodgement Design Issue	01/10/2019
D	Pre-lodgement Design Issue	09/10/2019
E	Issue for Information	27/11/2019
F	Issue for Information	10/12/2019
G	Issue for Information	13/12/2019
Н	Draft Development Application	16/12/2019
I	Development Application	17/01/2020
J	Revised Development Application	20/05/2020
K	Revised Development Application	27/05/2020

## MATERIALS & FINISHES LEGEND

CTW-01 PANELISED RECONSTITUTED MASONRY FINISH
CTW-02 GLAZING IN ALUMINIUM FRAME
CTW-03 ALUMINIUM LOUVRES

CTW-04 SHOPFRONT GLAZING
CTW-05 CURTAIN WALL WITH ALLIMINI

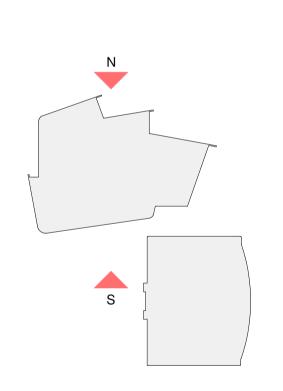
CTW-05 CURTAIN WALL WITH ALUMINIUM FRAME, EXPRESSED VERTICAL MULLIONS

CTW-06 CURTAIN WALL WITH ALUMINIUM FRAME

CTW-06 CURTAIN WALL WITH ALUMINIUM FRAME
CTW-07 MASONRY WALL

CTW-08 ALUMINIUM BATTEN SCREEN

CON-01 CONCRETE COLUMN



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Christchurch	sydney@architectus.com.au
Brisbane	ABN 90 131 245 684
project	

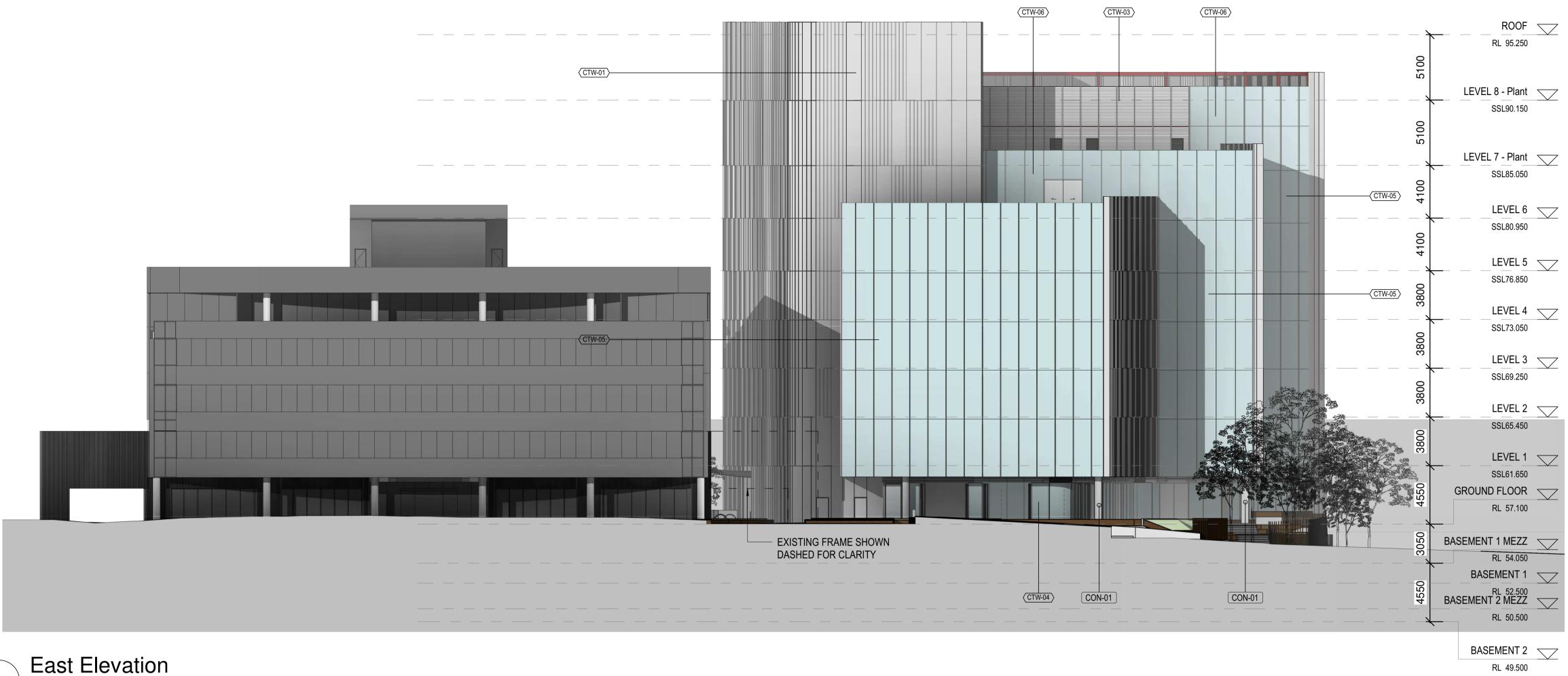
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drawing

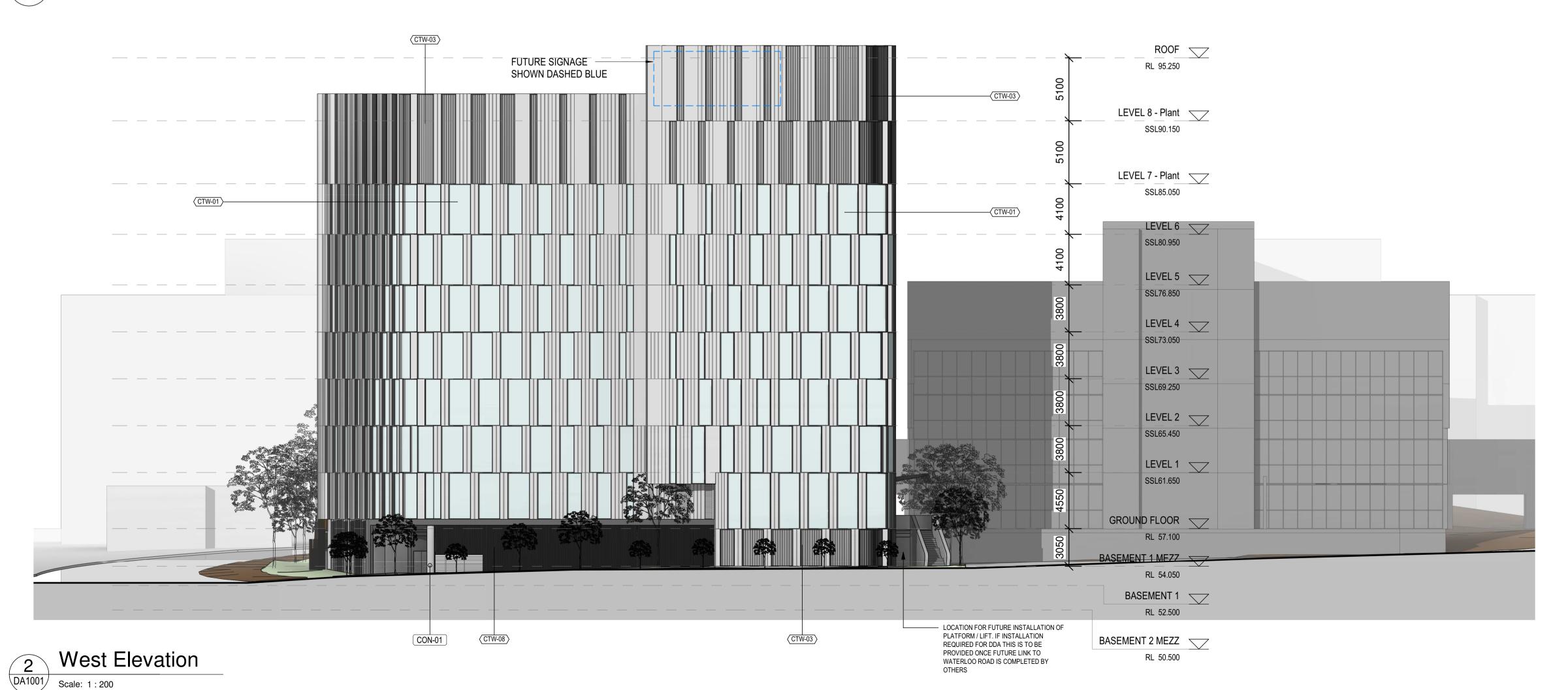
North & South Elevations

scale	1 : 200@A1	drawing no.
drawn	WH	DA2001
checked	AD	issue
project no	190267	K

27/05/2020 10:35:28 AM



# DA1001 | Scale: 1:200



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issue	amendment	date
Α	Issue for Information	12/09/2019
В	Draft Pre-lodgement Design	27/09/2019
С	Pre-lodgement Design Issue	01/10/2019
D	Pre-lodgement Design Issue	09/10/2019
Е	Issue for Information	27/11/2019
F	Issue for Information	10/12/2019
G	Draft Development Application	16/12/2019
Н	Development Application	17/01/2020
I	Revised Development Application	20/05/2020
J	Revised Development Application	27/05/2020

## MATERIALS & FINISHES LEGEND

PANELISED RECONSTITUTED MASONRY FINISH CTW-02 GLAZING IN ALUMINIUM FRAME

CTW-03 **ALUMINIUM LOUVRES** CTW-04 SHOPFRONT GLAZING

CURTAIN WALL WITH ALUMINIUM FRAME,

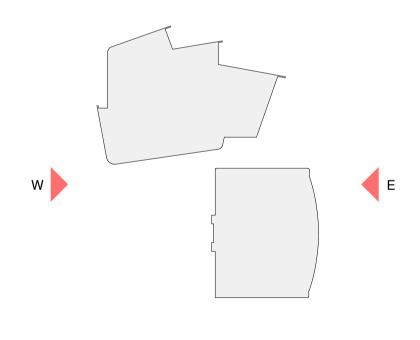
EXPRESSED VERTICAL MULLIONS

CTW-06 CURTAIN WALL WITH ALUMINIUM FRAME

CTW-07 MASONRY WALL

ALUMINIUM BATTEN SCREEN

CONCRETE COLUMN



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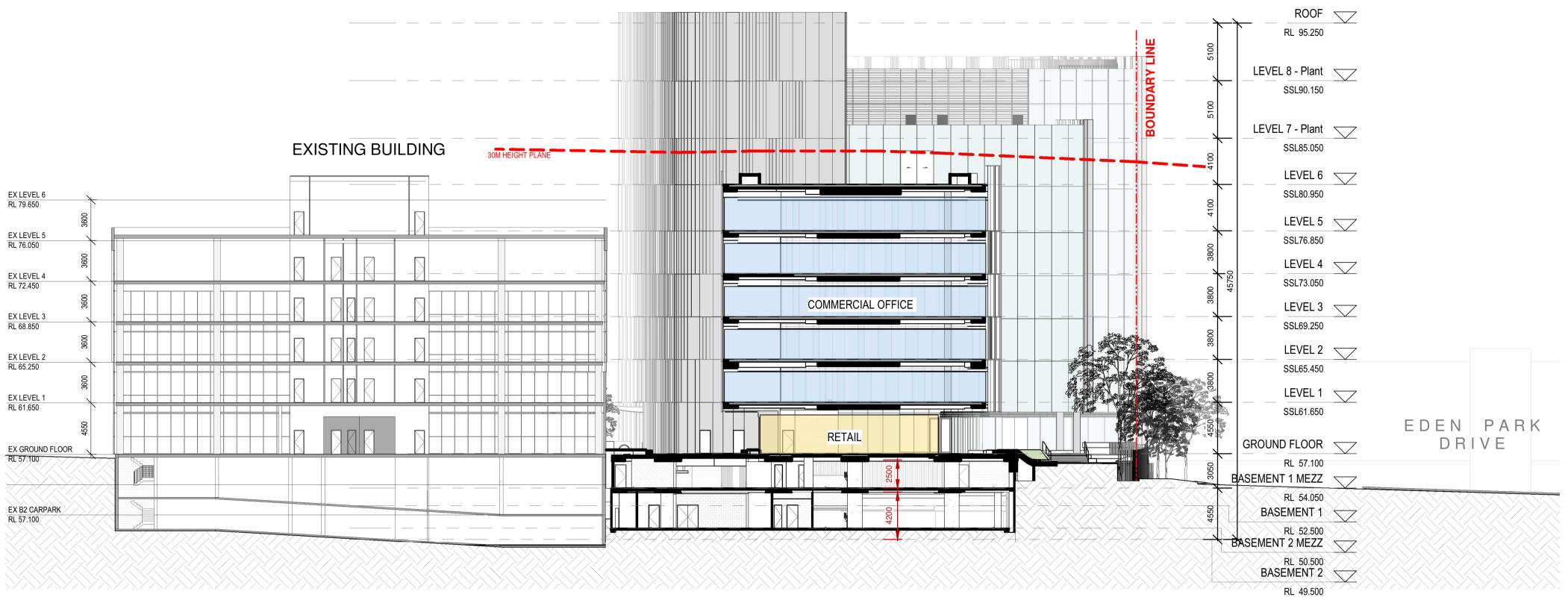
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Brisbane	ABN 90 131 245 684
project	

## 1 Eden Park Drive

East & West Elevations

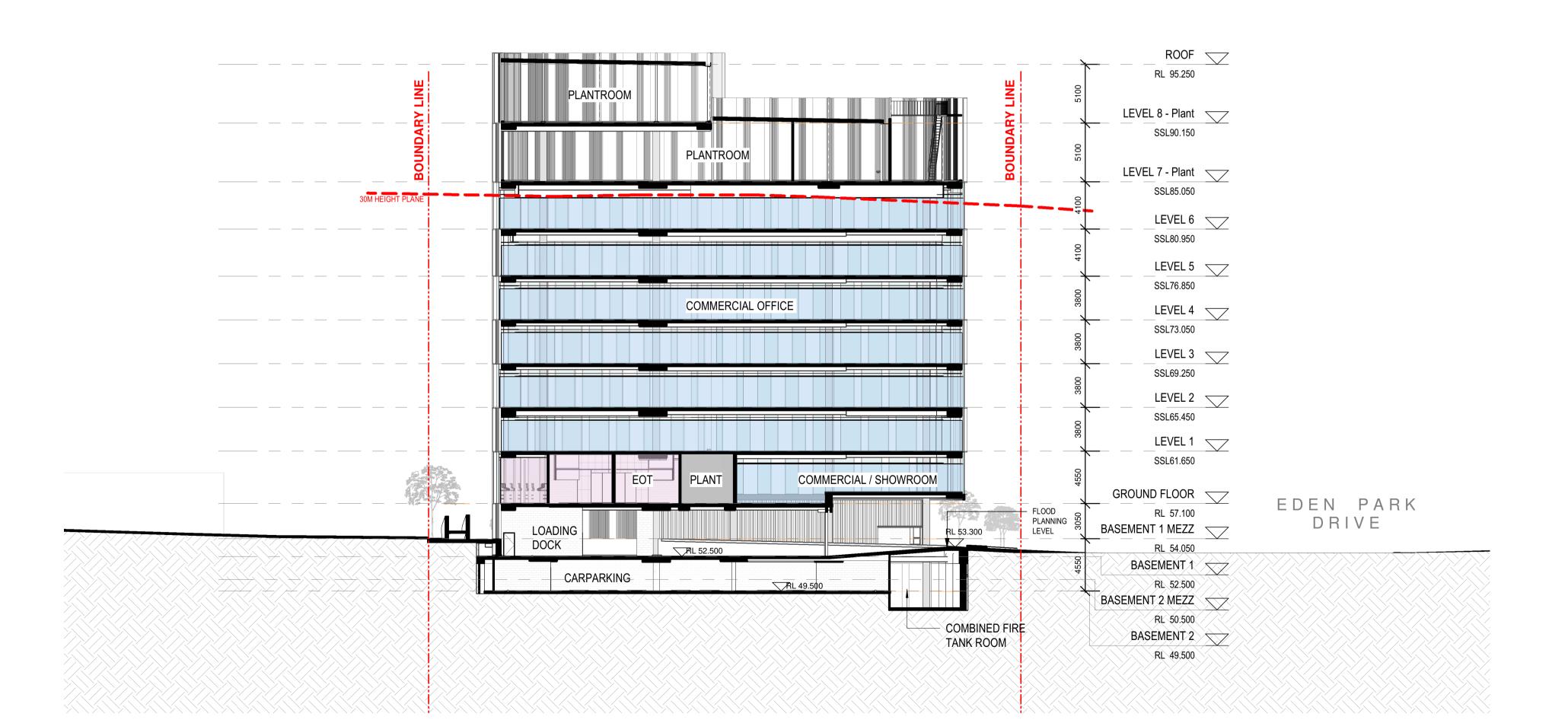
scale	1 : 200@A1	drawing no.	
drawn	WH	DA2002	
checked	AD	issue	
project no	190267	J	

27/05/2020 10:39:12 AM



North-South Section 1

DA1001 Scale: 1: 250





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issue	amendment	date
Α	Issue for Client Review	10/09/2019
В	Issue for Information	26/09/2019
С	Draft Pre-lodgement Design	27/09/2019
D	Pre-lodgement Design Issue	01/10/2019
E	Pre-lodgement Design Issue	09/10/2019
F	Draft Development Application	16/12/2019
G	Development Application	17/01/2020
Н	Revised Development Application	20/05/2020

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brisbarie	ADN 90 131 243 004

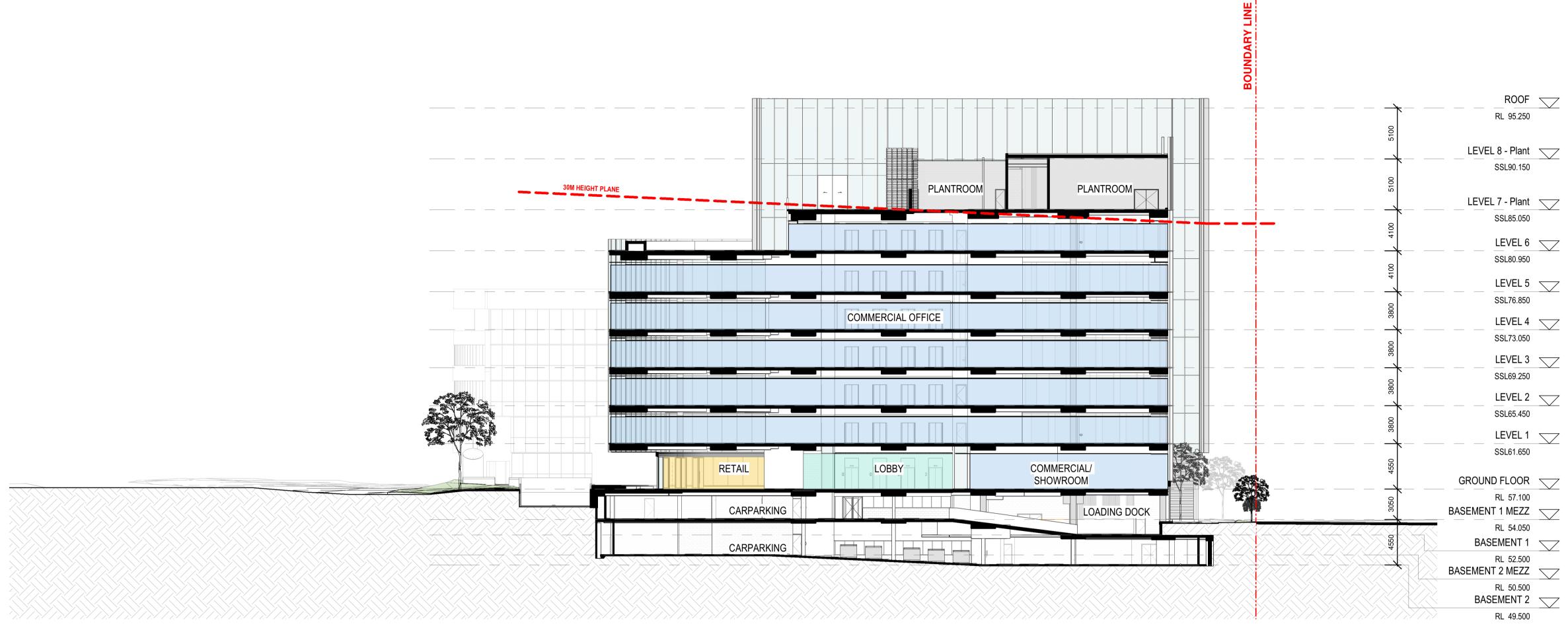
1 Eden Park Drive

drawing

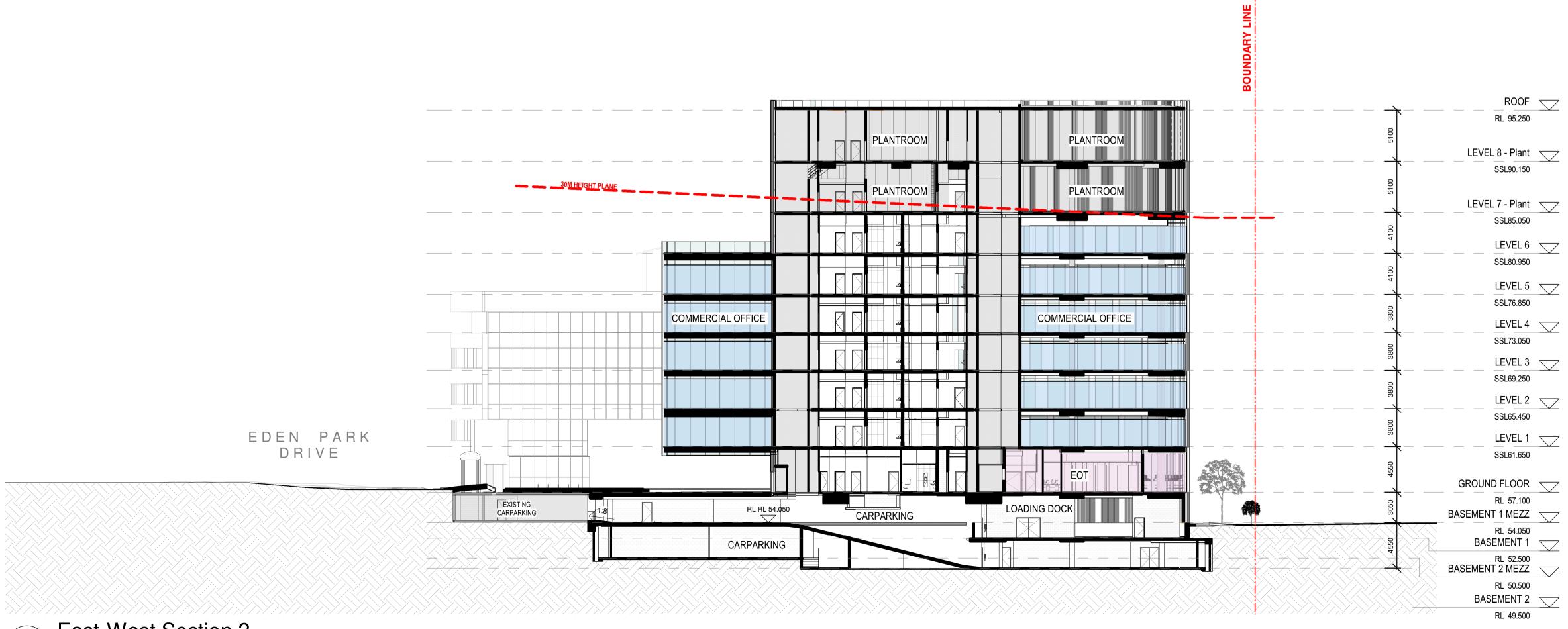
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scale	1 : 250@A1	drawing no.
drawn	WH	DA2101
checked	AD	issue
project no	190267	н

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1 East-West Section 1 Scale: 1:250



2 East-West Section 2
DA1001 Scale: 1:250

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Do not scale drawings. Verify all dimensions on site

issue	amendment	date
Α	Issue for Client Review	10/09/2019
В	Draft Pre-lodgement Design	27/09/2019
С	Pre-lodgement Design Issue	01/10/2019
D	Pre-lodgement Design Issue	09/10/2019
E	Issue for traffic engineer co-ordination	30/10/2019
F	Draft Development Application	16/12/2019
G	Development Application	17/01/2020
Н	Revised Development Application	20/05/2020
I	Revised Development Application	27/05/2020

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Brisbane	ABN 90 131 245 684

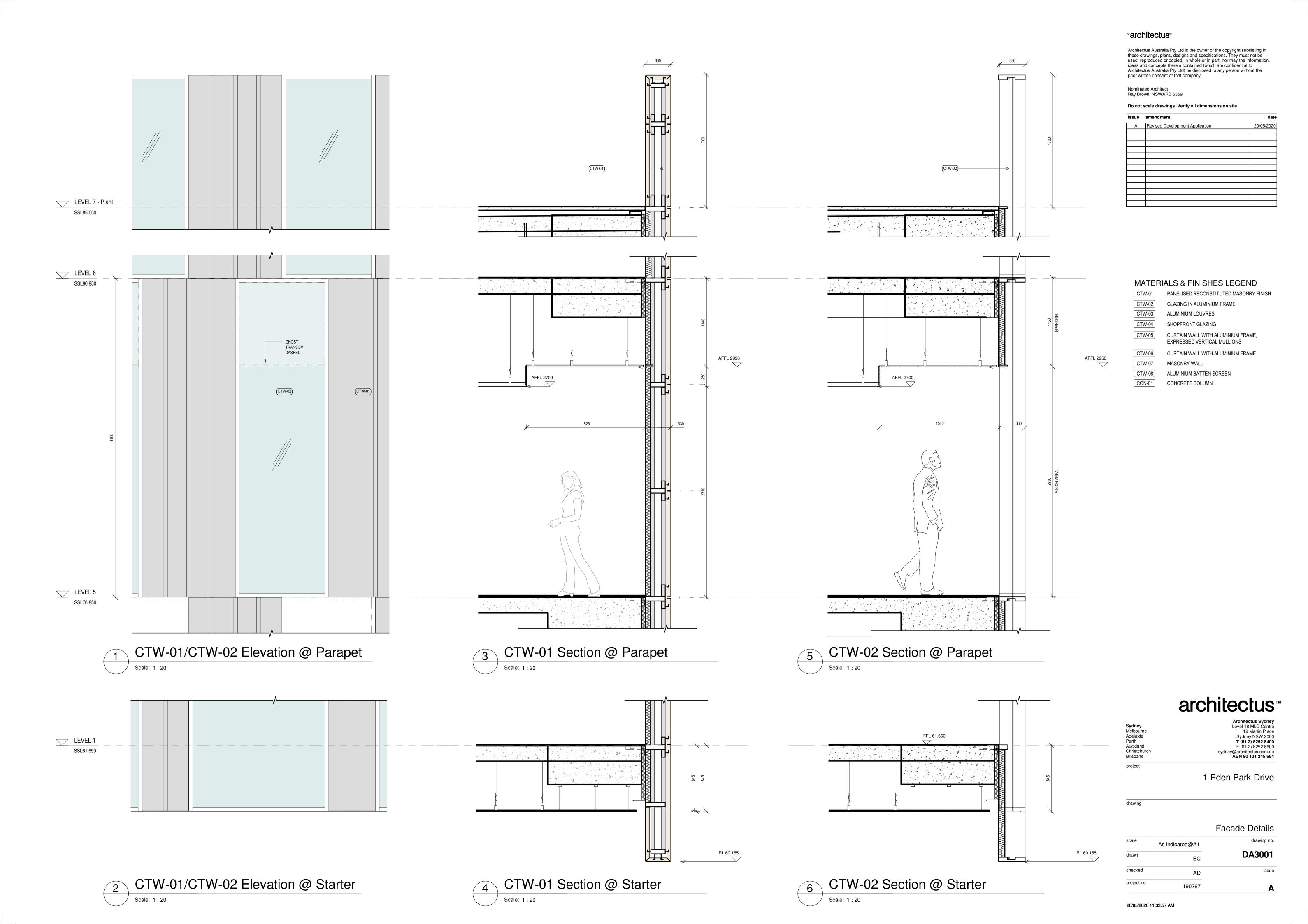
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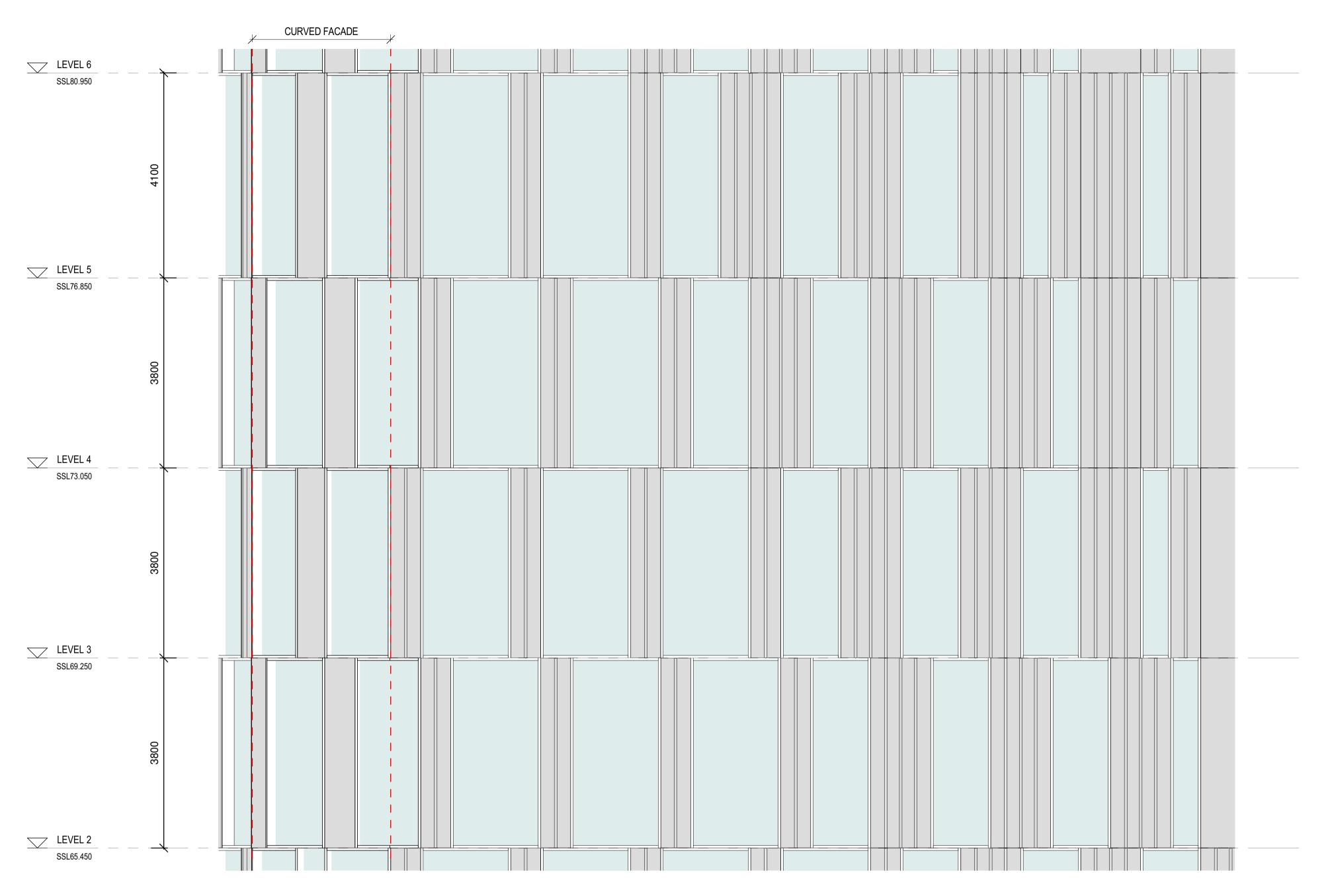
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Section Sheet 2

scale	1 : 250@A1	drawing no.
drawn	WH	DA2102
checked	AD	issue
project no	190267	

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issue	amendment	date
Α	Revised Development Application	20/05/2020

## MATERIALS & FINISHES LEGEND

PANELISED RECONSTITUTED MASONRY FINISH

GLAZING IN ALUMINIUM FRAME CTW-03

**ALUMINIUM LOUVRES** SHOPFRONT GLAZING

CURTAIN WALL WITH ALUMINIUM FRAME,

EXPRESSED VERTICAL MULLIONS

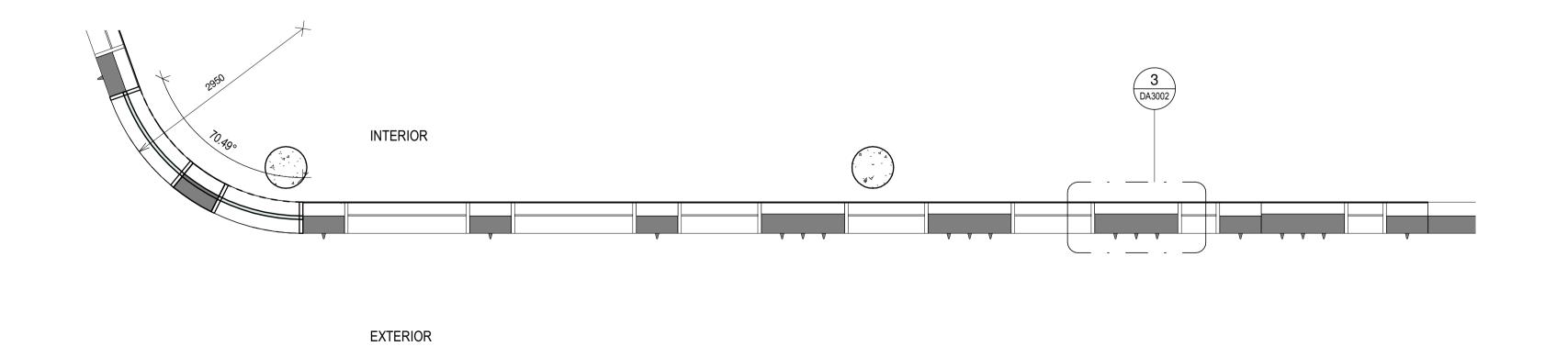
CURTAIN WALL WITH ALUMINIUM FRAME

MASONRY WALL

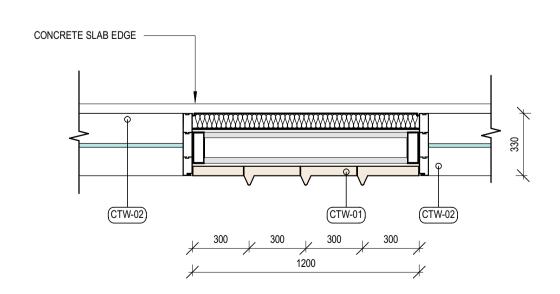
ALUMINIUM BATTEN SCREEN

CONCRETE COLUMN

Panelised Reconstituted Masonary Facade









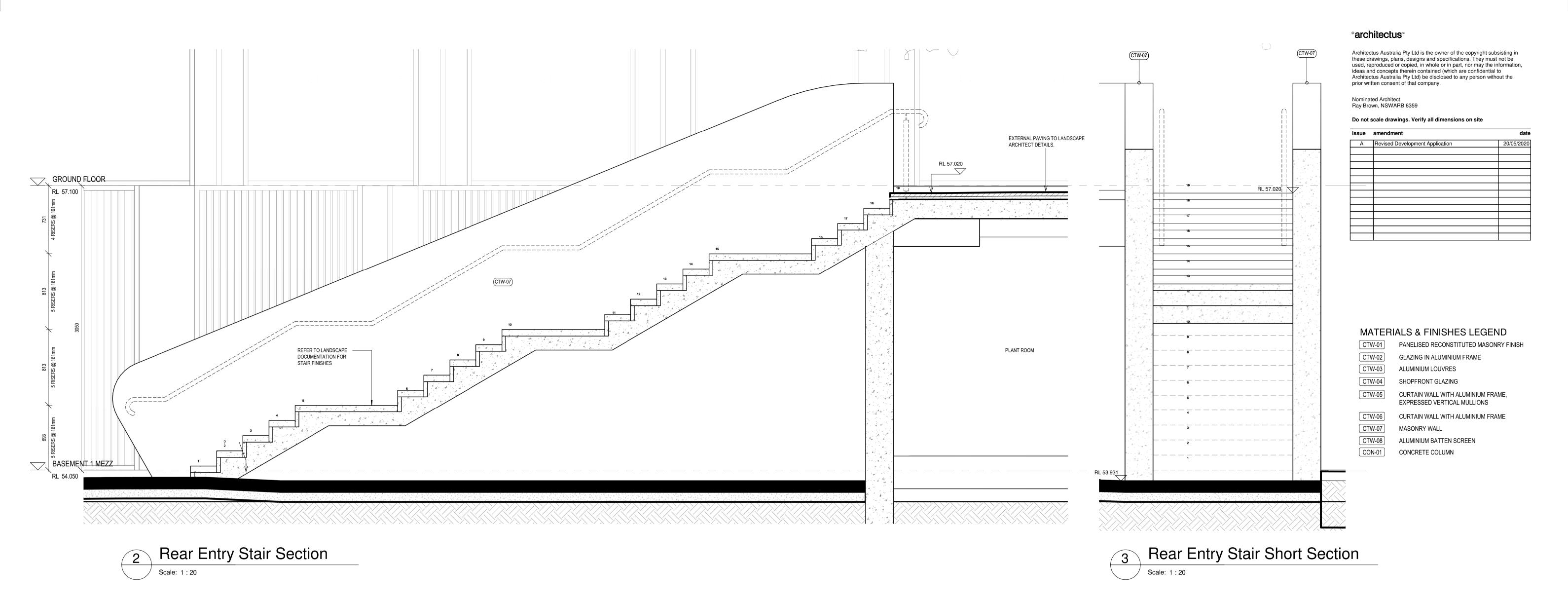
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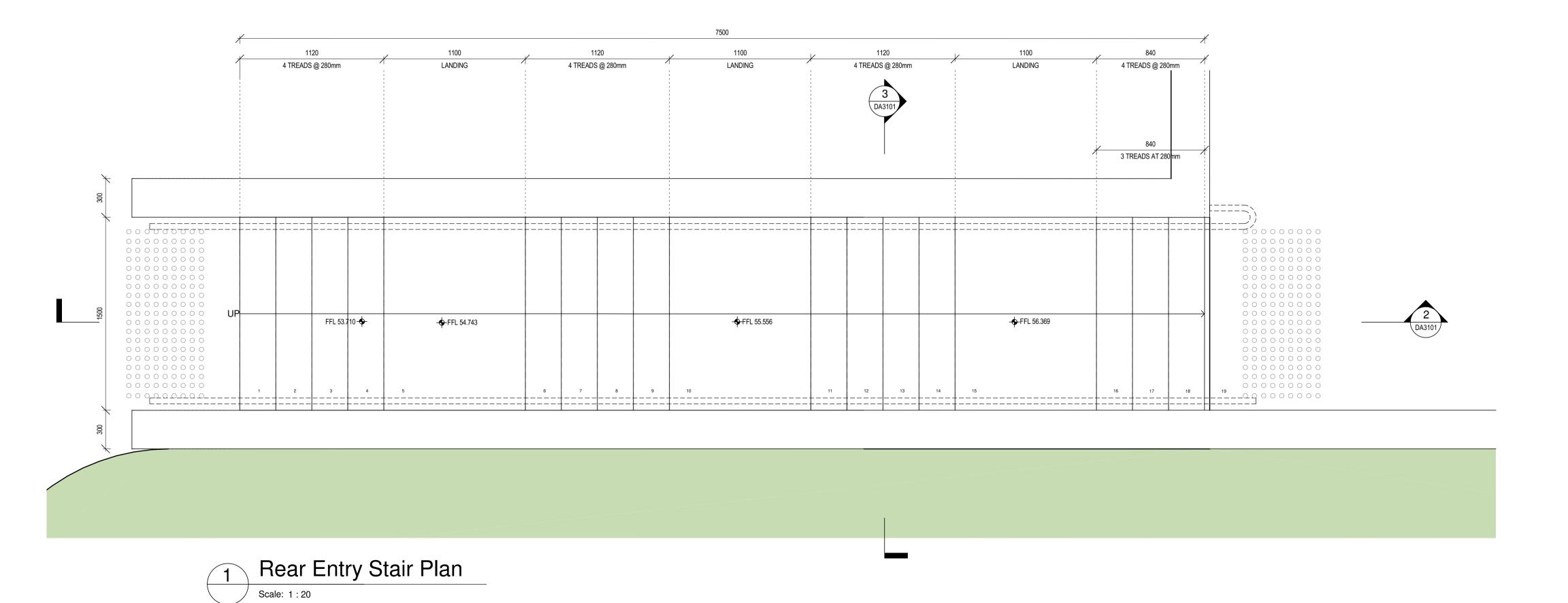
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1 Eden Park Drive

		Facade Details 2
scale	As indicated@A1	drawing no.
drawn	RD	DA3002
checked	AD	issue
project no	190267	Δ

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luckland	F (61 2) 8252 8600
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Brisbane	ABN 90 131 245 684
project	
MOIDE	

1 Eden Park Drive

drawing

Southern Link Stair Section

scale	As indicated@A1	drawing no.
drawn	EC	DA3101
checked	AD	issue
project no	190267	Α

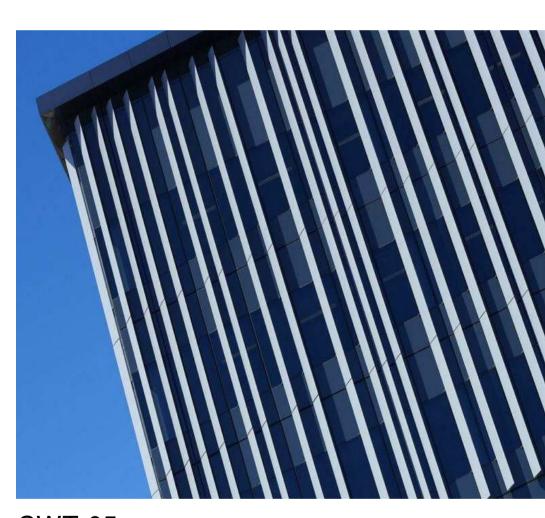
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CTW-01 PANELISED RECONSTITUTED MASONRY FINISH



CTW-02 GLAZING IN ALUMINIUM FRAME



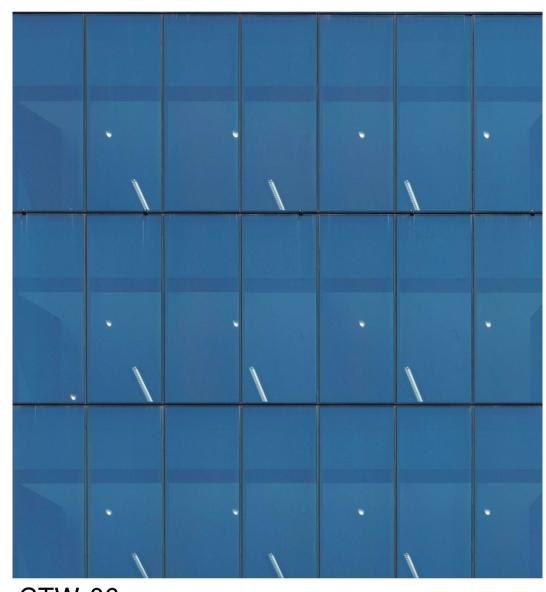
CWT-05 CURTAIN WALL WITH ALUMINIUM FRAME, EXPRESSED VERTICAL MULLIONS



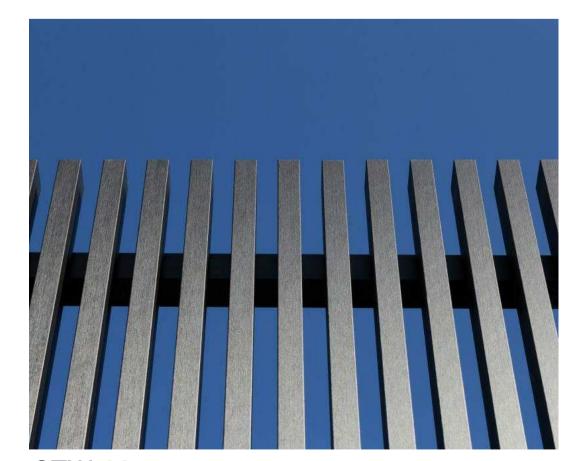
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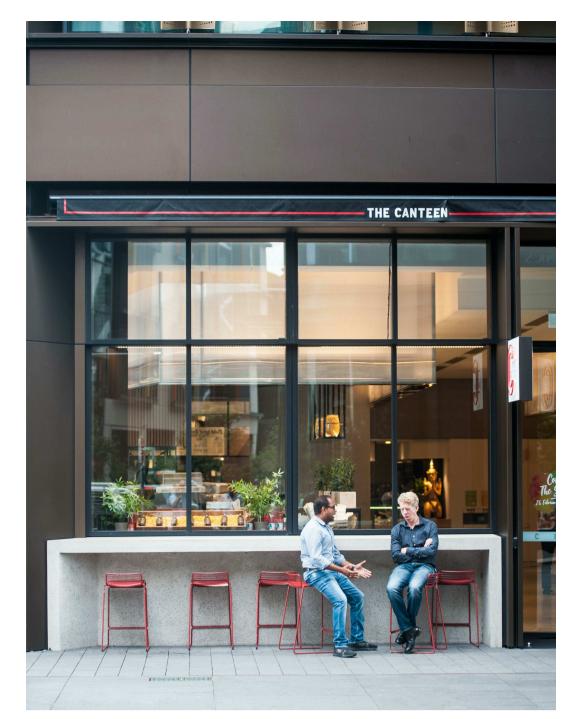
CTW-03 **ALUMINIUM LOUVRES** 



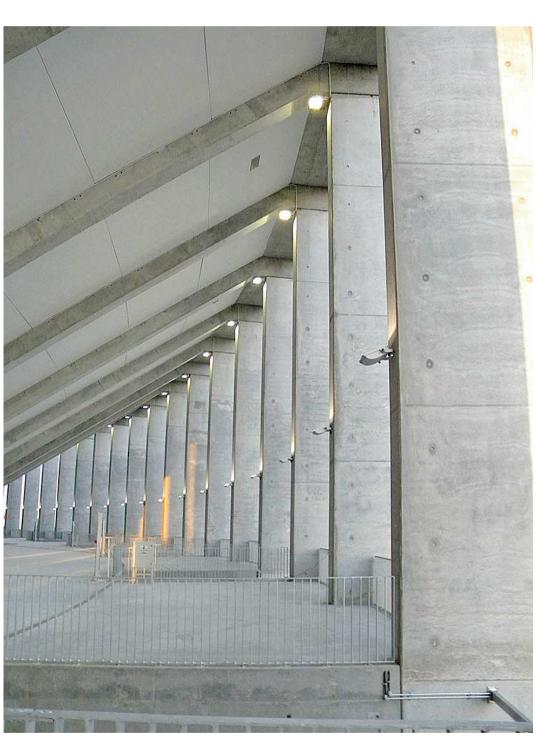
CTW-06 CURTAIN WALL WITH ALUMINIUM FRAME



CTW-08 ALUMINIUM BATTEN SCREEN



CWT-04 SHOPFRONT GLAZING



CON-01 CONCRETE COLUMN

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Nominated Architect Ray Brown, NSWARB 6359

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issue	amendment	date
Α	Development Application	20/12/2019
В	Revised Development Application	20/05/2020

## MATERIALS & FINISHES LEGEND

PANELISED RECONSTITUTED MASONRY FINISH CTW-02 GLAZING IN ALUMINIUM FRAME CTW-03 **ALUMINIUM LOUVRES** CTW-04 SHOPFRONT GLAZING

CURTAIN WALL WITH ALUMINIUM FRAME, EXPRESSED VERTICAL MULLIONS

CTW-06 CURTAIN WALL WITH ALUMINIUM FRAME

CTW-07 MASONRY WALL ALUMINIUM BATTEN SCREEN

CON-01 CONCRETE COLUMN

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Perth
Auckland
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1 Eden Park Drive

Material Finishes

scale	1 : 200@A1	drawing no.
drawn	AC	DA5101
checked	AD	issue
project no	190267	В

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EXISTING TREES TO BE REMOVED

EXISTING TREES TO BE RETAINED PROPOSED FEATURE TREE PLANTING

PROPOSED SHRUB AND ACCENT PLANTING PROPOSED GROUNDCOVER PLANTING

PROPOSED GROUNDCOVER + CLIMBING MIX

PROPOSED GROUNDCOVER PLANTING

NATIVE GRASS MATRIX PLANTING

PROPOSED ELEVATED PAVING - P1

PROPOSED TURF ON STRUCTURE

PROPOSED STONE UNIT PAVING - P2

PROPOSED TIMBER AMPHITHEATRE

SEATED RETAINING WALL/PLANTER BEDS

BATTEN SCREENING/BALUSTRADE

LAMP POST - THROUGH SITE LINK Refer to Ryde Council DCP **CONCRETE PAVING** 

Refer to Ryde Council DCP GRANITE BANDING

Refer to Ryde Council DCP SITE BOUNDARY

EXISTING TREE APZ BIKE RACK

DRIVEWAY PAVING

DA - PD Reconfiguration KS MB 16.10.2020 KS MB 13.07.2020 KS MB 27.05.2020 KS MB 20.01.2020 KS MB 13.01.2020 KS MB 17.12.2019 A Draft DA

Not for Construction

## 1 EDEN PARK **DRIVE**

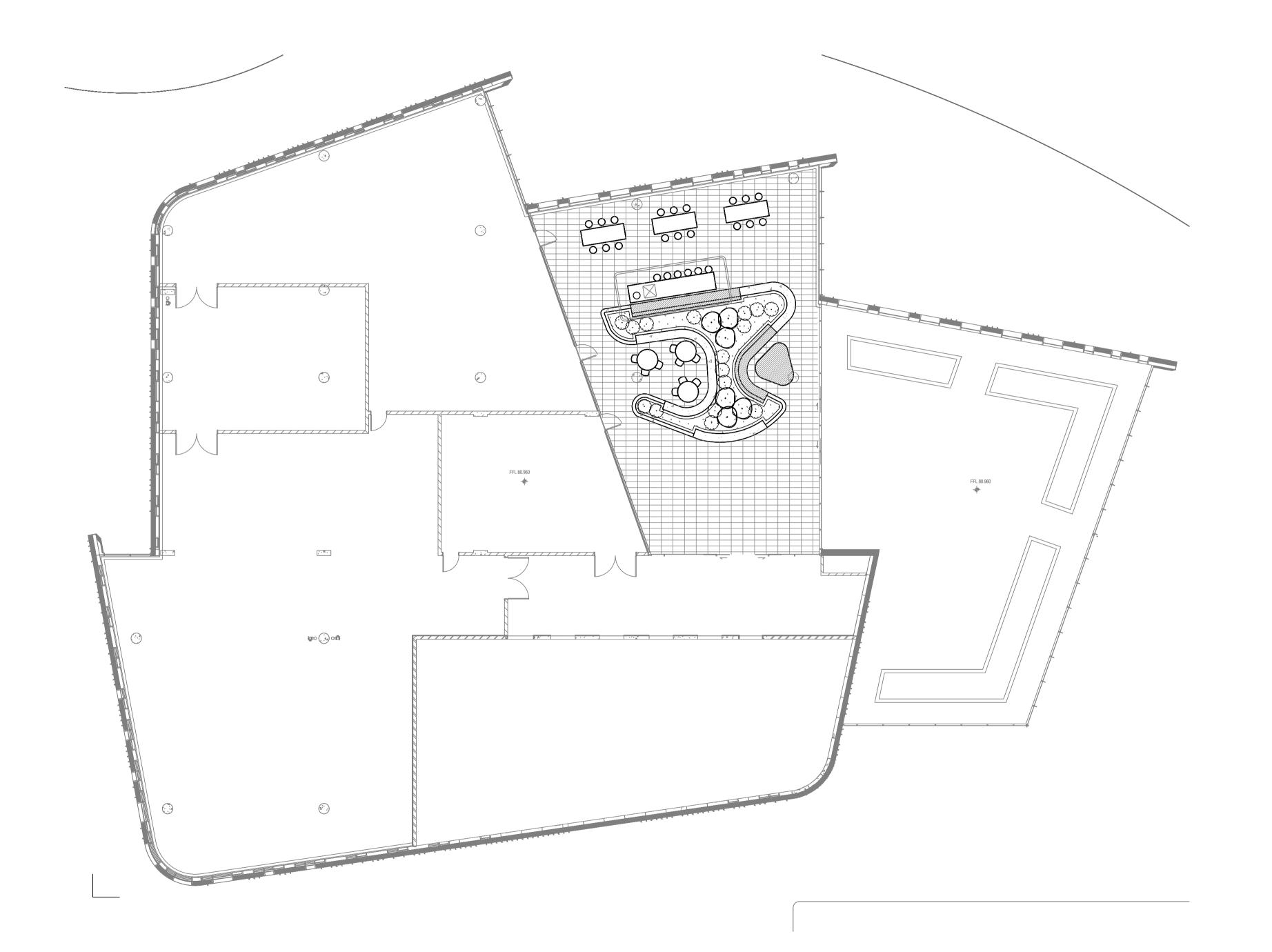
Macquarie Park Development Application

**Drawing Name** LANDSCAPE PLAN

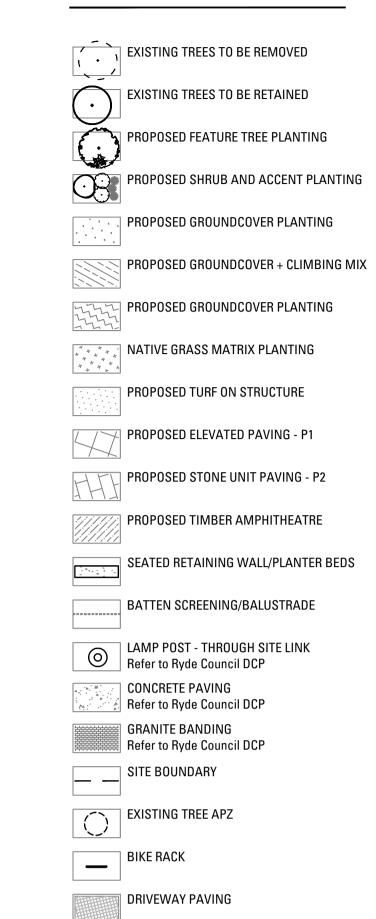
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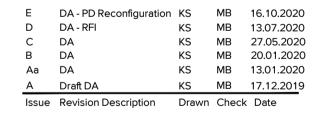
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Sydney, Suite 76, Jones Bay Brisbane, Suite 9.01, Level 9 Wharf, 26-32 Pirrama Road, 100 Edward Street Pyrmont NSW 2009 Brisbane QLD 4000 



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## 1 EDEN PARK DRIVE

Macquarie Park
Development Application

Drawing No.	Drawing Name
02	LANDSCAPE PLAN
Job No.	19-640
Job No. ssue	19-640 E

Sydney, Suite 76, Jones Bay Wharf, 26-32 Pirrama Road, Pyrmont NSW 2009 E sydney@arcadiala.com.au T 02 8571 2900 E Sydney@arcadiala.com.au T 07 3071 8000



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EXISTING TREES TO BE REMOVED

EXISTING TREES TO BE RETAINED

PROPOSED FEATURE TREE PLANTING

PROPOSED SHRUB AND ACCENT PLANTING

PROPOSED GROUNDCOVER PLANTING

PROPOSED GROUNDCOVER + CLIMBING MIX

THOI GOLD GIOGINDOUVEIT FOLIMBING WI

PROPOSED GROUNDCOVER PLANTING

NATIVE GRASS MATRIX PLANTING

7 , 4

PROPOSED TURF ON STRUCTURE

 E
 DA - PD Reconfiguration
 KS
 MB
 16.10.2020

 D
 DA - RFI
 KS
 MB
 13.07.2020

 C
 DA
 KS
 MB
 27.05.2020

 B
 DA
 KS
 MB
 20.01.2020

 Aa
 DA
 KS
 MB
 13.01.2020

 A
 Draft DA
 KS
 MB
 17.12.2019

Not for Construction

## 1 EDEN PARK DRIVE

Macquarie Park
Development Application

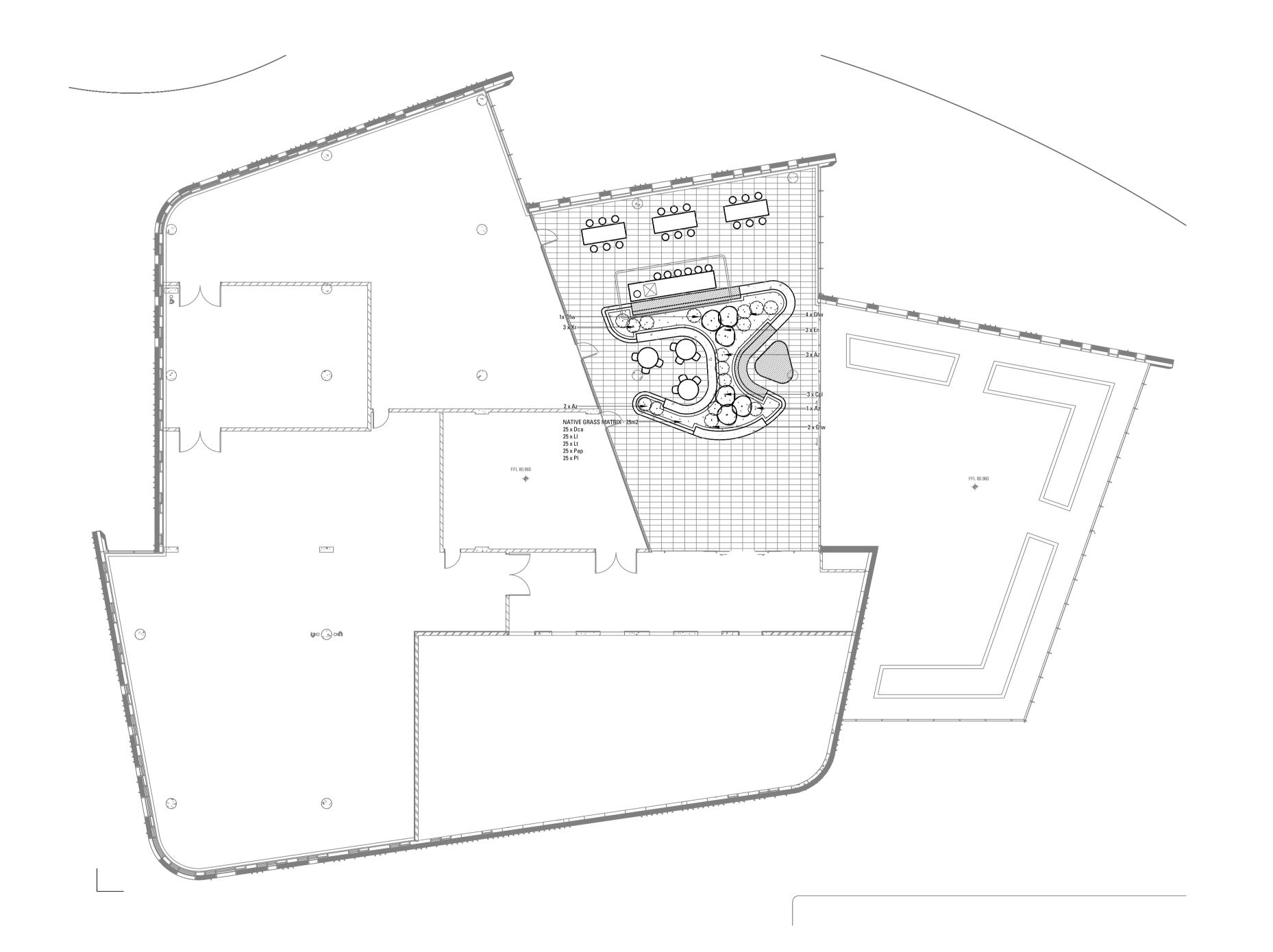
Drawing No. Drawing Name
401 LANDSCAPE PLAN

Job No. 19-640

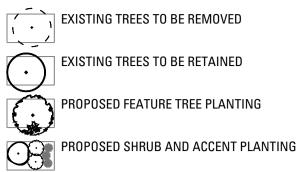
Sydney, Suite 76, Jones Bay
Wharf, 26-32 Pirrama Road,
Pyrmont NSW 2009
E sydney@arcadiala.com.au
T 02 8571 2900

Brisbane, Suite 9.01, Level 9
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1:150@A1



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PROPOSED GROUNDCOVER PLANTING

PROPOSED GROUNDCOVER + CLIMBING MIX

PROPOSED GROUNDCOVER PLANTING

NATIVE GRASS MATRIX PLANTING

PROPOSED TURF ON STRUCTURE

Issue	Revision Description	Drawn	Check	Date
Α	Draft DA	KS	MB	17.12.2019
Aa	DA	KS	MB	13.01.2020
В	DA	KS	MB	20.01.2020
С	DA	KS	MB	27.05.2020
D	DA - RFI	KS	MB	13.07.2020
E	DA - PD Reconfiguration	KS	MB	16.10.2020

Not for Construction

## 1 EDEN PARK **DRIVE**

Macquarie Park
Development Application

Drawing No.	<b>Drawing Name</b>
402	LANDSCAPE PLAN

19-640 1:150@A1

Sydney, Suite 76, Jones Bay Wharf, 26-32 Pirrama Road, Pyrmont NSW 2009 E sydney@arcadiala.com.au T 02 8571 2900 Bayes Brisbane, Suite 9.01, Level 9 100 Edward Street Brisbane QLD 4000 E brisbane@arcadiala.com.au T 07 3071 8000



1 EDEN PARK DRIVE Macquarie Park

Not for Construction

Macquarie Park
Development Application

Kador

SUBSTATION

Drawing No. Drawing Name
500 EDEN PARK ELEVATION

Job No. 19-640
Issue E
Scale 1:75@A1

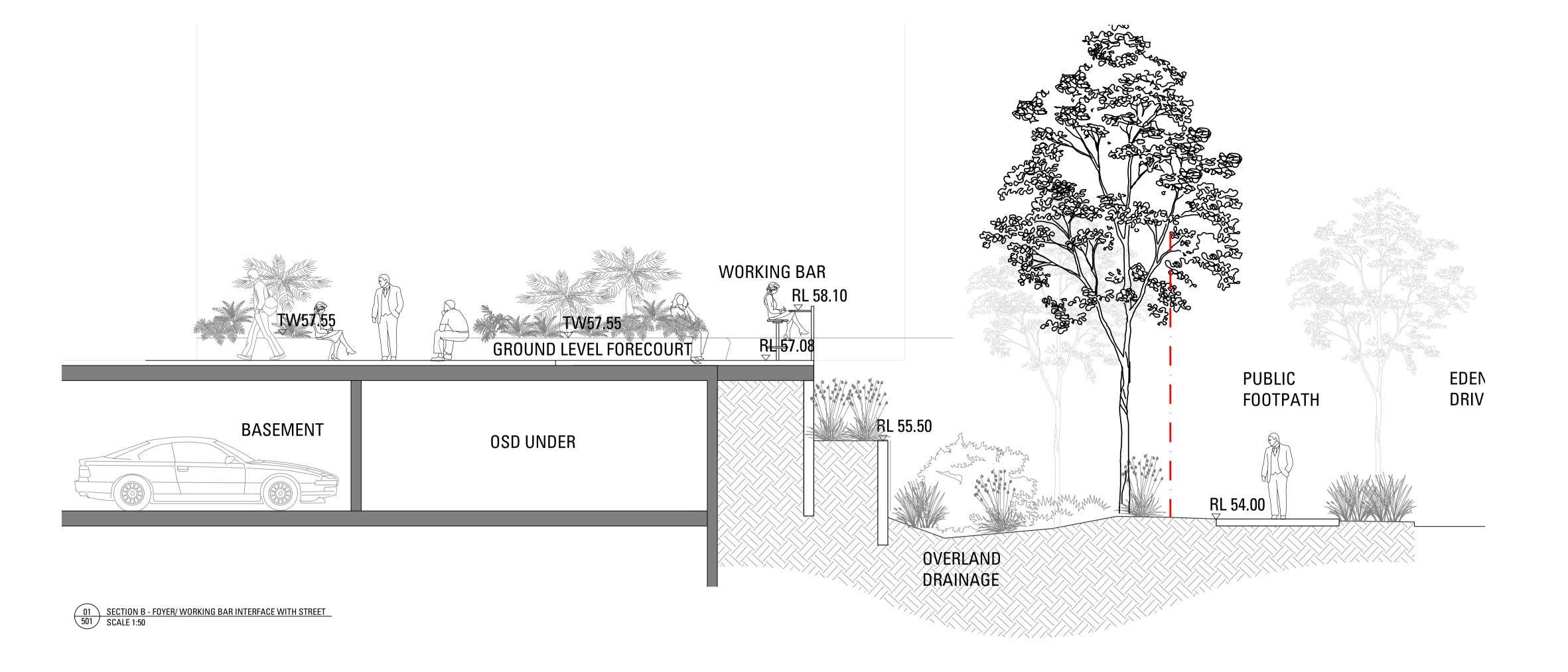
Sydney, Suite 76, Jones Bay Wharf, 26-32 Pirrama Road, Pyrmont NSW 2009 E sydney@arcadiala.com.au T 02 8571 2900 E Brisbane, Suite 9.01, Level 9 100 Edward Street Brisbane QLD 4000 E brisbane@arcadiala.com.au T 07 3071 8000

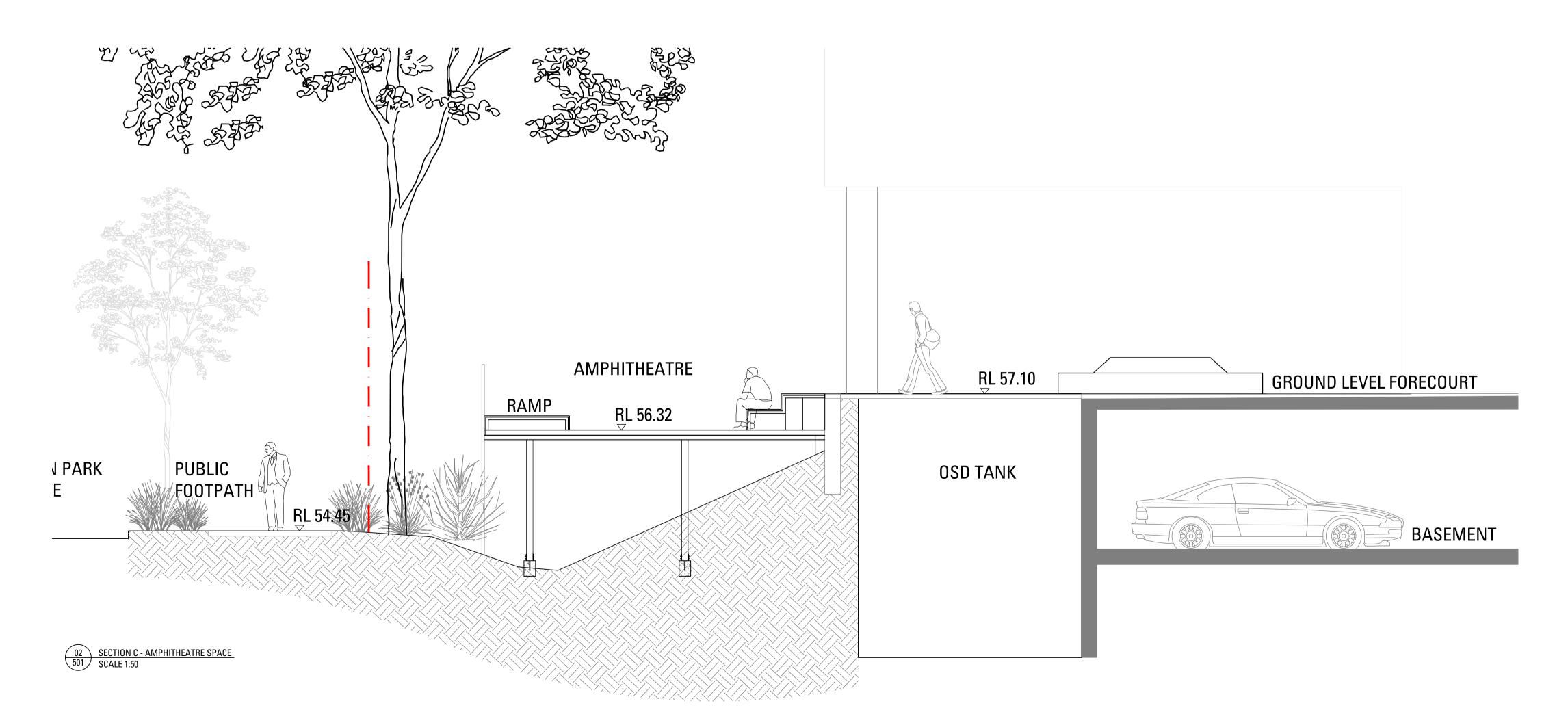
NORTHERN ELEVATION - VIEW FROM EDEN PARK DRIVE

500 Scale 1:75

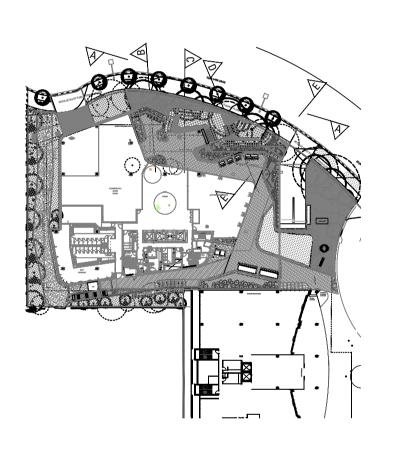
KS MB 13.07.2020 KS MB 27.05.2020 KS MB 20.01.2020

KS MB 13.01.2020 KS MB 17.12.2019





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Issue	Revision Description	Drawn	Check	Date
Α	Draft DA	KS	MB	17.12.2019
Aa	DA	KS	MB	13.01.2020
В	DA	KS	MB	20.01.2020
С	DA	KS	MB	27.05.2020
D	DA - RFI	KS	MB	13.07.2020
E	DA - PD Reconfiguration	KS	MB	16.10.2020

Not for Construction

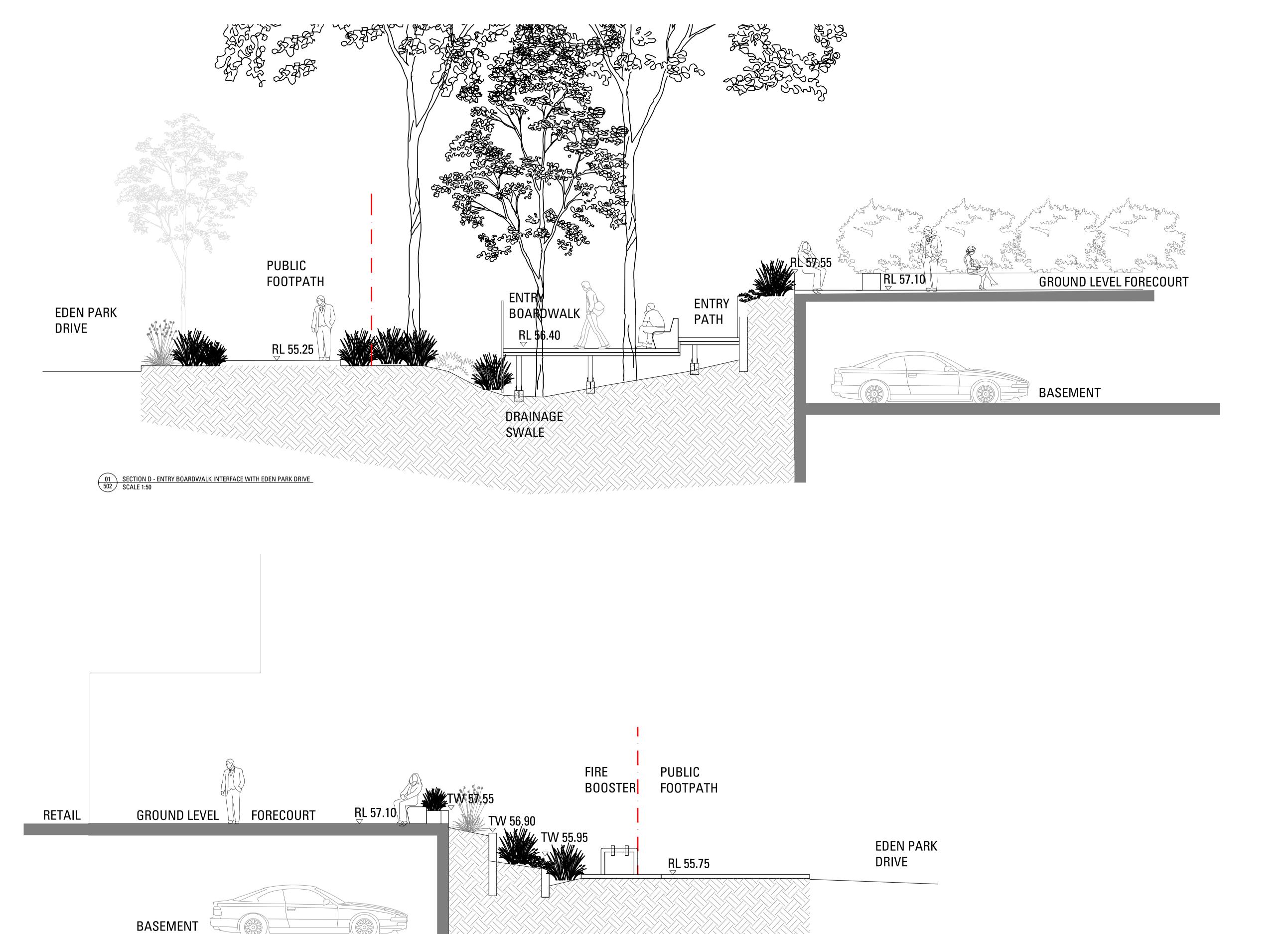
## 1 EDEN PARK DRIVE

Macquarie Park
Development Application

Kado

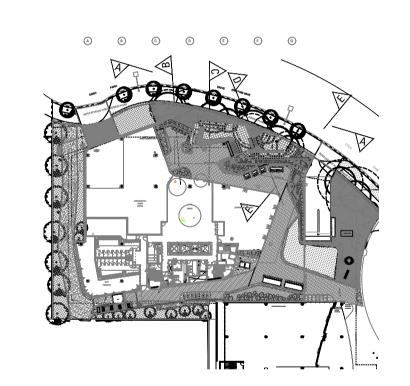
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501	SECTIONS
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Job No.	19-640
Job No.	19-640 E

Sydney, Suite 76, Jones Bay Wharf, 26-32 Pirrama Road, Pyrmont NSW 2009 E sydney@arcadiala.com.au T 02 8571 2900 Brisbane@arcadiala.com.au T 07 3071 8000



02 SECTION E - FORECOURT INTERFACE WITH EDEN PARK DRIVE
502 SCALE 1:50

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Issue	Revision Description	Drawn	Check	Date
Α	Draft DA	KS	MB	17.12.2019
Aa	DA	KS	MB	13.01.2020
В	DA	KS	MB	20.01.2020
С	DA	KS	MB	27.05.2020
D	DA - RFI	KS	MB	13.07.2020
E	DA - PD Reconfiguration	KS	MB	16.10.2020

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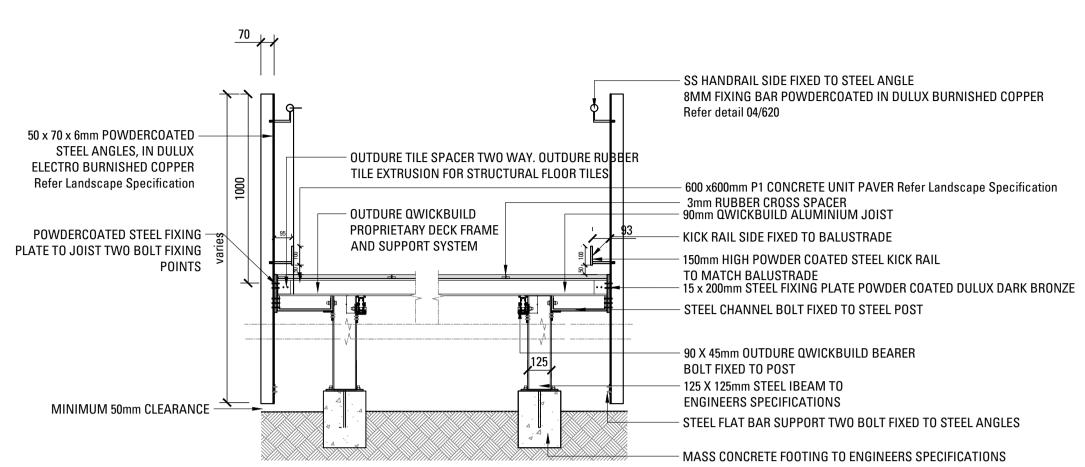
## 1 EDEN PARK DRIVE

Macquarie Park
Development Application

Kador

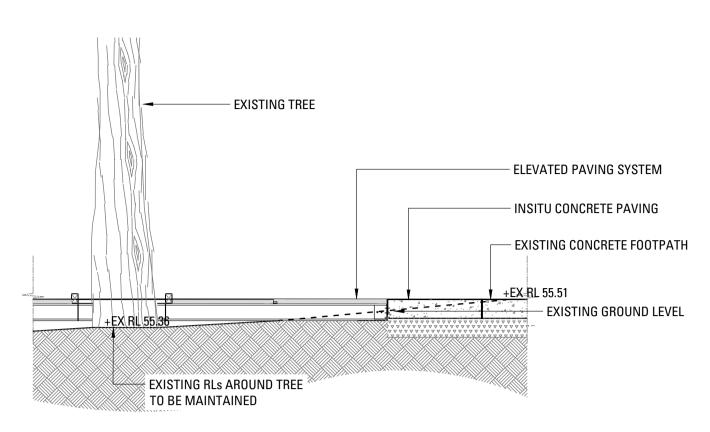
Drawing No.	Drawing Name
502	SECTIONS
Job No.	19-640
Issue	E
Scale	1:50@A1

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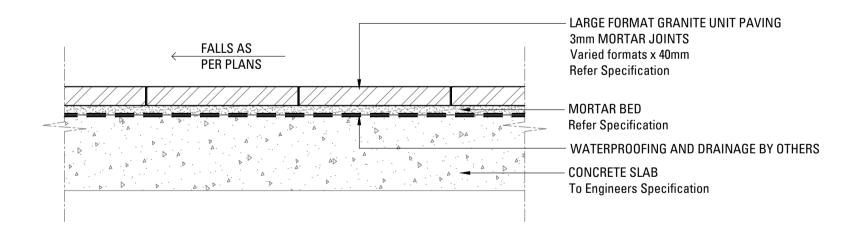


NOTE: GENERAL STRUCTURE NOTED. OUTDURE TO CUSTOMISE QWIKBUILD SYSTEM TO PROJECT

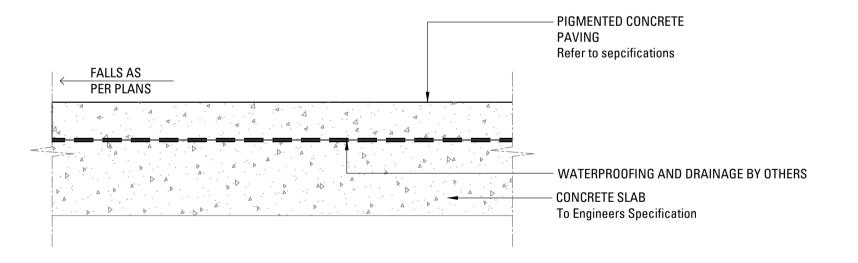
03 PAVING TYPE P3 - ELEVATED OUTDURE PAVING SYSTEM - SECTION SCALE 1:20



04 ELEVATED PAVING SYSTEM - EXISTING TREE THROUGH DECK
601 SCALE 1:20



01 PAVING TYPE P1 - LARGE FORMAT UNIT PAVERS ON SLAB
601 SCALE 1:10



PAVING TYPE P2 - PIGMENTED CONCRETE PAVING WITH EXPOSED AGGREGATE
SCALE 1:10

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E	DA - PD Reconfiguration	KS	MB	16.10.2020
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## 1 EDEN PARK DRIVE

Macquarie Park
Development Application

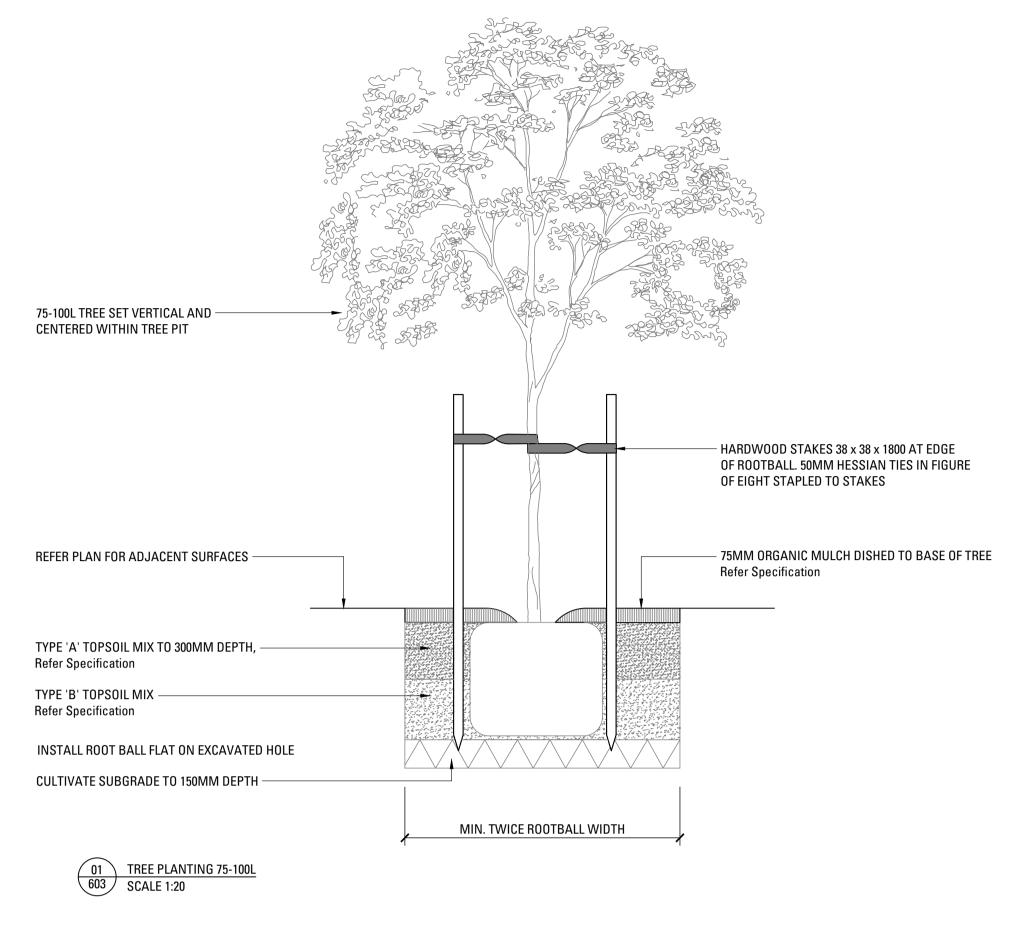
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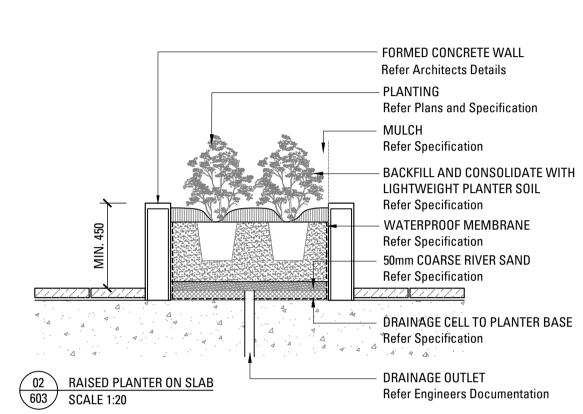
Drawing No.	<b>Drawing Name</b>
601	DETAILS - PAVING

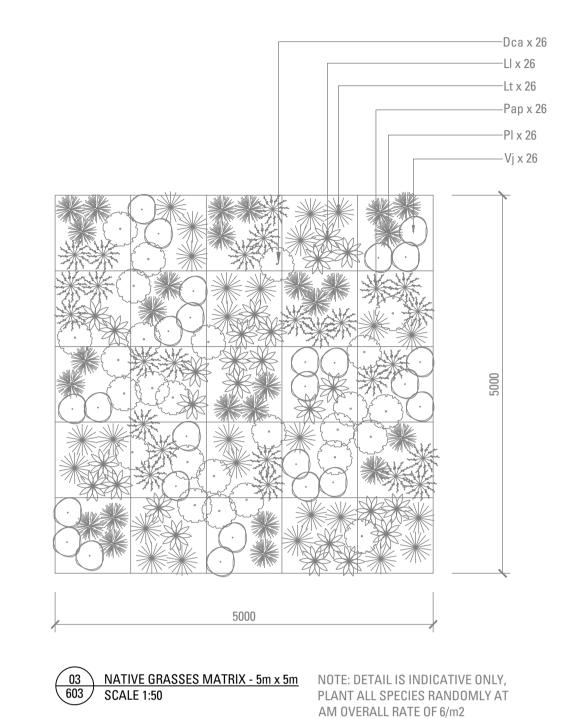
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– PLANTING Refer Plan and Schedule – MULCH DISHED TO BASE OF PLANT Refer Specification ADJACENT WALLS Refer Specifications – BACKFILL AND CONSOLIDATE WITH LIGHTWEIGHT PLANTER SOIL, Refer Specification - WATERPROOF MEMBRANE Refer Architects Drawings – FILTER FABRIC TO BASE AND SIDES OF PLANTER Refer Specification - DRAINAGE CELL TO BASE OF PLANTER Refer Specification STAIRS, PAVING AND STRUCTURAL SLAB REFER ENGINEERS DRAWINGS

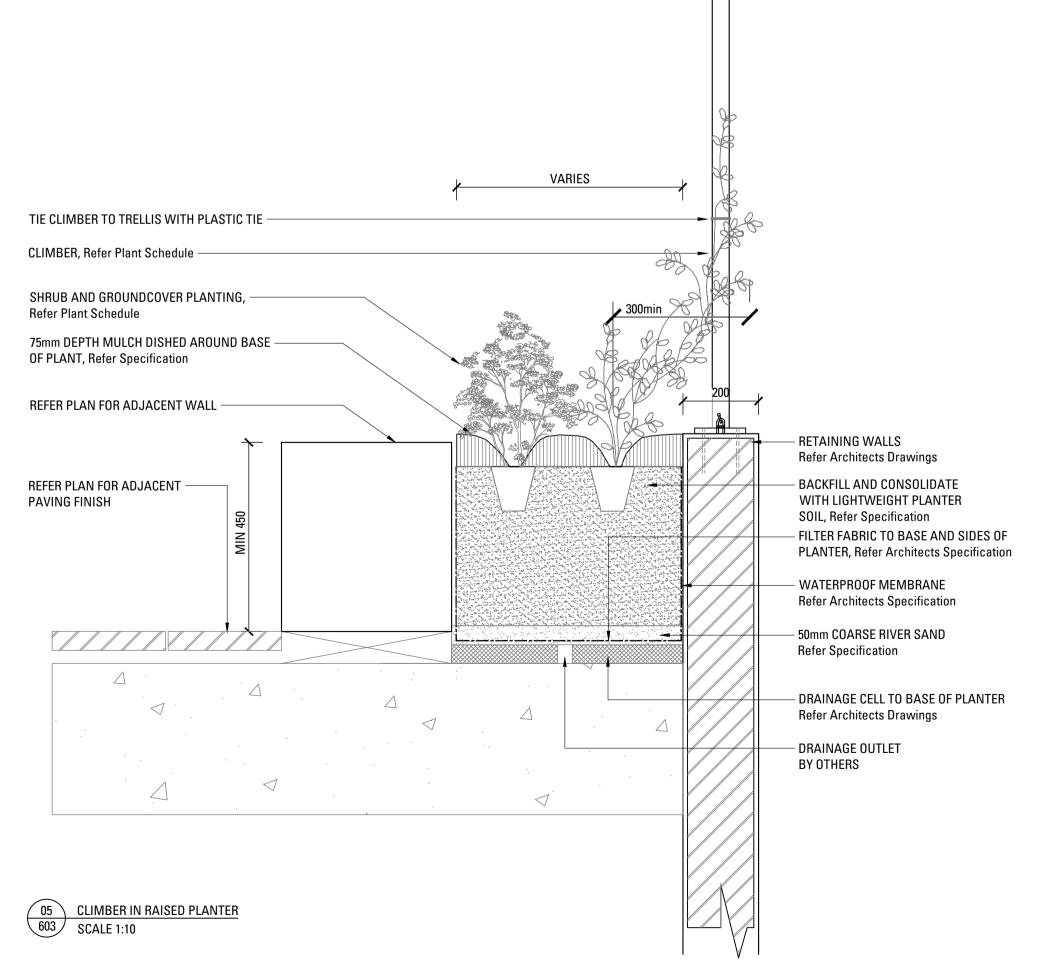
150mm COARSE GRAVEL

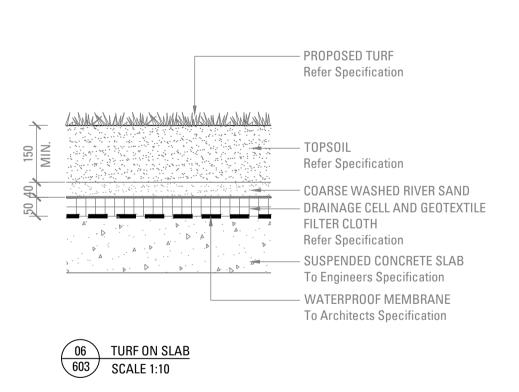
Refer Specification

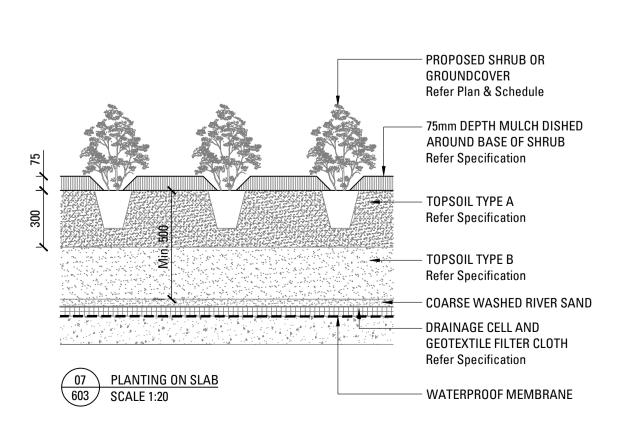
04 PLANTER ADJACENT STEPS 603 SCALE 1:10

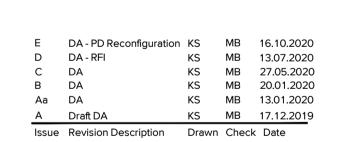
REFER ARCHITECTS DRAWINGS

FOR WIDTH OF PLANTER BEDS









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## **1 EDEN PARK DRIVE**

Macquarie Park Development Application

**Drawing Name** DETAILS - PLANTING

Job No. Scale

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### LANDSCAPE SPECIFICATION NOTES

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### **ABORIST MANAGEMENT OF TREE PROTECTION**

A QUALIFIED AND APPROVED ABORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS HE DEEMS APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND **REVIEW OF THE TREES.** 

### **DRAINAGE CELL AND FILTER FABRIC**

FOR ON-SLAB AREAS INSTALL AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTERS. OVER DRAINAGE CELL TO ON-SLAB AREAS, A POLYFELT GEOTEXTILE LINING (AS SUPPLIED BY 'POLYFELT TS' OR APPROVED EQUIVALENT) IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTERS, TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES. INSTALL MIN. 50MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF SOIL MIX.

SHALL BE HOMOGENOUS BLEND OF SOIL AND ADDITIVES IN THE FOLLOWING PROPORTIONS:

EXISTING SITE SOIL IF SUITABLE OR

**IMPORTED TOPSOIL 50%** COMPOST 30%

D/W SAND 20%

SOIL TESTING OF EXISTING SITE SOIL IS TO BE UNDERTAKEN TO ASSESS SUITABILITY OF USE AS PLANTING TOPSOIL AND **COMPLIANCE WITH AUSTRALIAN STANDARDS.** 

PLACE MULCH TO THE REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

PINE BARK: FROM MATURE TREES, GRADED IN SIZE FROM 15MM TO 30MM, FREE FROM WOOD SLIVERS. DARK BROWN IN **COLOUR AND TEXTURE.** 

SHALL BE WELL ROTTED VEGETATIVE MATERIAL OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEED GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE DRAWINGS. GENERALLY PLANTS SHALL BE VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR INSECT PESTS WITH LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE

### FERTILISER MASS PLANTING AREAS:

FERTILISER SHALL BE 'NUTRICOTE' OR APPROVED EQUIVALENT IN GRANULE FORM INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE, PRIOR TO INSTALLING PLANTS.

SHALL BE SIR WALTER BUFFALO. SHIRLEYS NO. 17 OR APPROVED EQUAL LAWN FOOD SHALL BE THOROUGHLY MIXED INTO THE TOPSOIL PRIOR TO PLACING TURF.

### TREES IN GRASS AND SUPER ADVANCED TREES:

PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS, ANALYSIS 6.3:1.8:2.9. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP **GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE.** 

## STAKING AND TYING

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND

SIZED ACCORDING TO SIZE

OF PLANTS TO BE STAKED.

A. 5-15 LITRE SIZE PLANT 1X(1200X25X25MM)

B. 35-75 LITRE SIZE PLANT 2X(1500X38X38MM) C. 100-GREATER THAN 200LITRE 3X(1800X50X50MM)

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH MICRO-JET SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION

THE CONTRACTOR IS TO LIASE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

### WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

TIMBER EDGE: 100 X 25MM CCA TREATED RADIATA PINE TIMBER STAKES: 50 X 50 X 500MM CCA TREATED RADIATA PINE-SHARPENED AT ONE END. INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TURF ALL LANDSCAPE AREAS AS SHOWN ON THE LANDSCAPE DRAWINGS. TURF IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM. OBTAIN TURF FROM AN APPROVED GROWER. FURNISH A WARRANTY FROM THE GROWER THAT THE TURF IS FREE FROM WEEDS AND OTHER FOREIGN MATTER. DELIVER TURF TO THE SITE WITHIN 24 HOURS OF BEING CUT, AND LAY IT WITHIN 24 HOURS OF BEING DELIVERED.

TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPORTING OF 100MM OF TURF UNDERLAY SOIL. REMOVE ALL STONES OVER 50MM Ø AND REMOVE ALL WEEDS AND FOREIGN MATTER. SPREAD SOIL MIX A.B.S TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS.

LAY THE TURF ALONG THE LAND CONTOURS WITH STAGGERED, CLOSE BUTTED JOINTS, SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH FOR SANDY OR LIGHT SOILS.

WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED. FERTILISE TWO WEEKS AFTER LAYING FERTILISE A.B.S.

'TOP DRESS' THE TURF WHEN IT IS ESTABLISHED TO A DEPTH OF 10MM WITH COARSE WASHED RIVER SAND. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

### LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, WATERING, MOWING, FERTILISING, RESEEDING, RETURFING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE CONTRACTOR SHALL ATTEND TO THE SITE ON A WEEKLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT WEEKLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING.

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED

BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

THE LANDSCAPE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY THAT THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH "DYNAMIC LIFTER" FOR LAWNS AT A RATE OF 20KG PER 100M2. FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS SWARD. MOWING HEIGHT: 30-50MM.

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE, AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND, WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT

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DA - PD Reconfiguration KS MB 16.10.2020 DA - RFI KS MB 13.07.2020 KS MB 27.05.2020 C DA KS MB 20.01.2020 Aa DA KS MB 13.01.2020 KS MB 17.12.2019 A Draft DA Issue Revision Description Drawn Check Date

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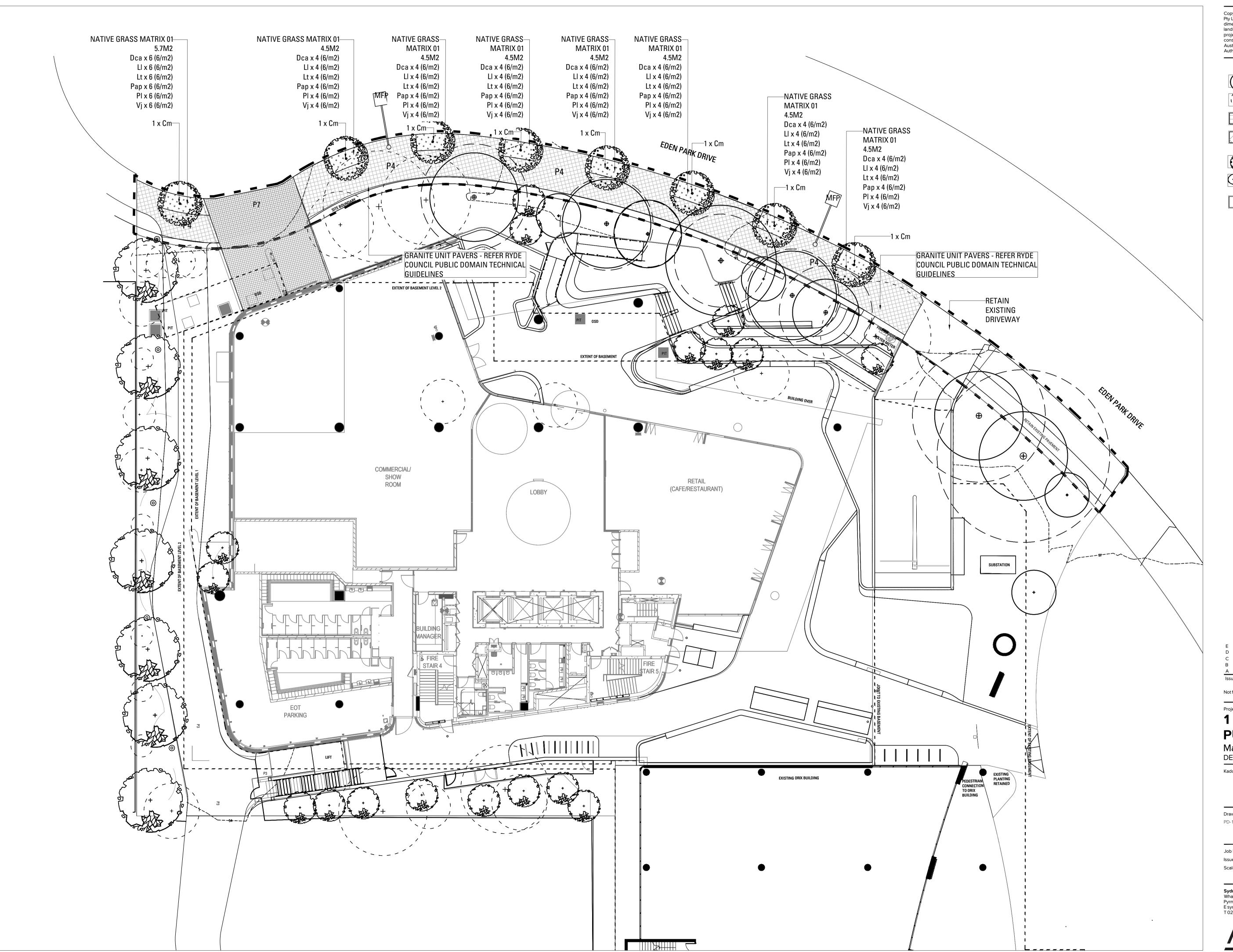
## 1 EDEN PARK **DRIVE**

Macquarie Park **Development Application** 

**Drawing Name** Drawing No. LANDSCAPE **SPECIFICATIONS** 

19-640

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> EXISTING TREES TO BE RETAINED EXISTING TREES TO BE REMOVED

P7 PAVING TYPE P7
Refer Ryde DCP PV 1.2

P4 Refer Ryde DCP PV 1.2

PROPOSED FEATURE TREE PLANTING PROPOSED SHRUB AND ACCENT PLANTING

MFP MULTI-FUNCTION POLE Refer Ryde DCP

DA REVISED D DA REVISED KS MB 29.09.20 C Draft DA

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## 1 EDEN PARK DRIVE **PUBLIC DOMAIN**

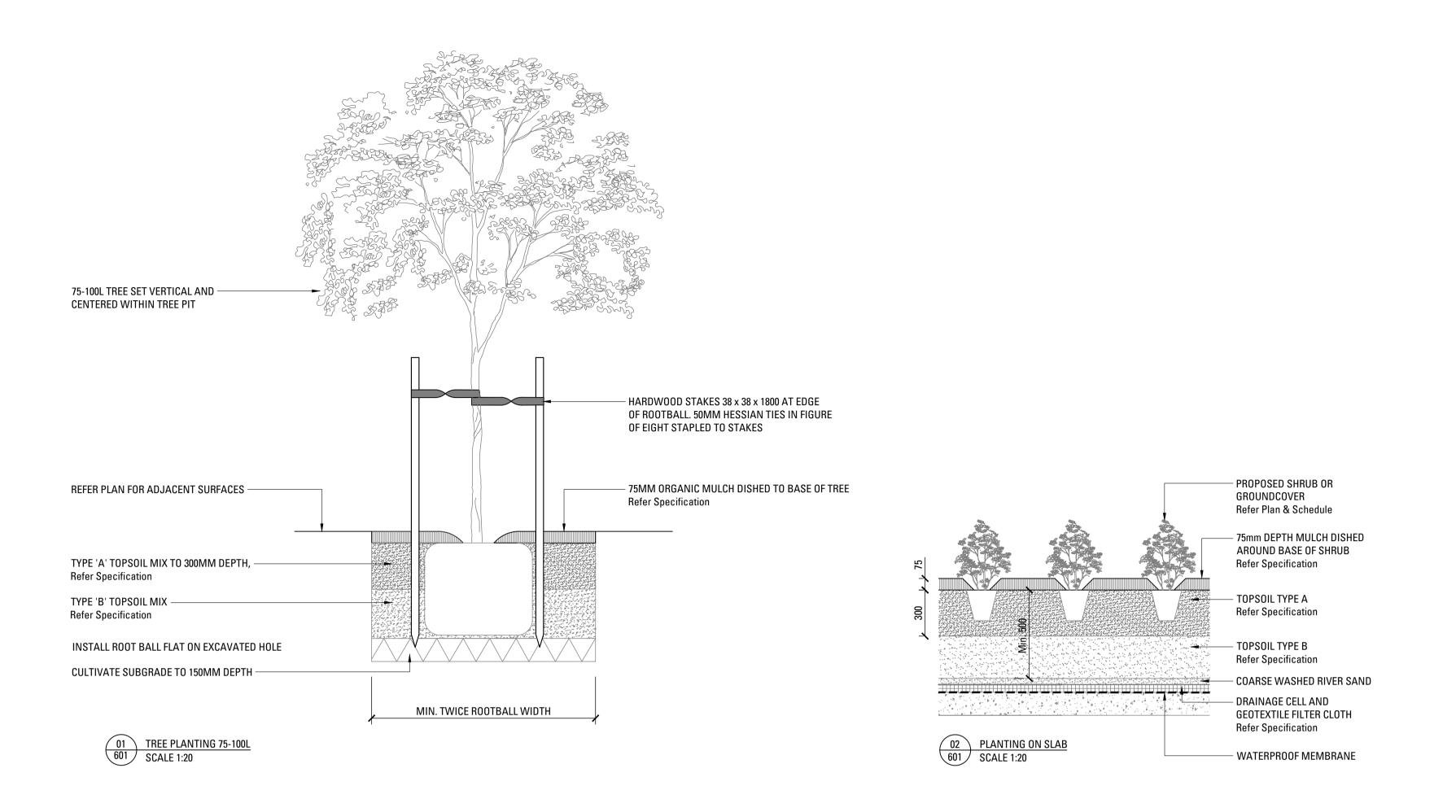
Macquarie Park
DEVELOPMENT APPLICATION

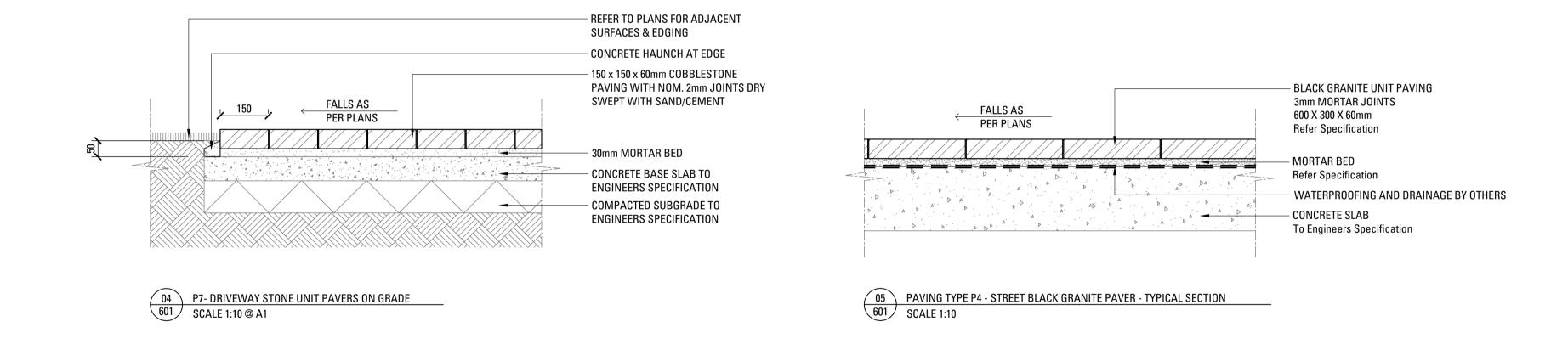
**Drawing Name** LANDSCAPE PLAN

1:100 @ A1

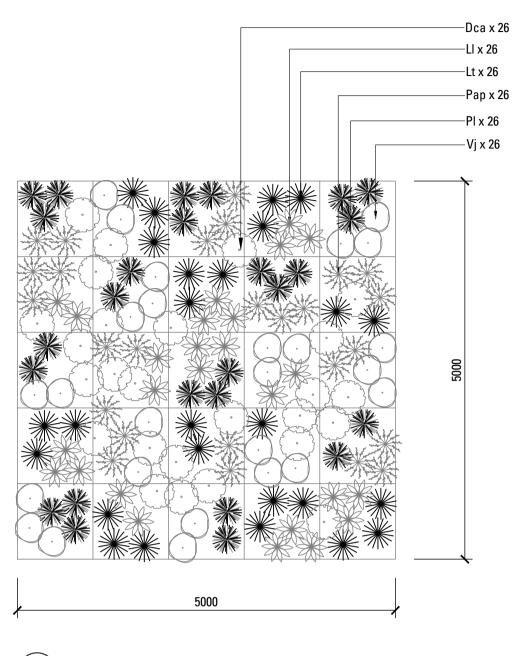
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03 NATIVE GRASSES MATRIX - 5m x 5m 601 SCALE 1:50 NOTE: DETAIL IS INDICATIVE ONLY, PLANT ALL SPECIES RANDOMLY AT

AM OVERALL RATE OF 6/m2

E DA REVISED KS MB 16.10.20 D DA REVISED KS MB 29.09.20 C Draft DA KS MB 27.05.20 KS MB 21.01.20 B Draft DA KS MB 19.12.19 A Draft DA Issue Revision Description Drawn Check Date

Not for Construction

## 1 EDEN PARK DRIVE **PUBLIC DOMAIN**

Macquarie Park DEVELOPMENT APPLICATION

Drawing No. **Drawing Name** PD-601 DETAILS

Job No. 19-640

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### MULCH APPLICATION

PLACE MULCH TO THE REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

PINE BARK: FROM MATURE TREES, GRADED IN SIZE FROM 15MM TO 30MM, FREE FROM WOOD SLIVERS. DARK BROWN IN COLOUR AND TEXTURE.

SHALL BE WELL ROTTED VEGETATIVE MATERIAL OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEED GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE DRAWINGS. GENERALLY PLANTS SHALL BE VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR INSECT PESTS WITH LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE

## FERTILISER MASS PLANTING AREAS:

FERTILISER SHALL BE 'NUTRICOTE' OR APPROVED EQUIVALENT IN GRANULE FORM INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE, PRIOR TO INSTALLING PLANTS.

SHALL BE SIR WALTER BUFFALO. SHIRLEYS NO. 17 OR APPROVED EQUAL LAWN FOOD SHALL BE THOROUGHLY MIXED INTO THE TOPSOIL PRIOR TO PLACING TURF.

## TREES IN GRASS AND SUPER ADVANCED TREES:

PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS, ANALYSIS 6.3:1.8:2.9. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE.

## STAKING AND TYING

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND

SIZED ACCORDING TO SIZE

OF PLANTS TO BE STAKED.

A. 5-15 LITRE SIZE PLANT 1X(1200X25X25MM) B. 35-75 LITRE SIZE PLANT 2X(1500X38X38MM)

C. 100-GREATER THAN 200LITRE 3X(1800X50X50MM)

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH MICRO-JET SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION

THE CONTRACTOR IS TO LIASE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

TIMBER EDGE: 100 X 25MM CCA TREATED RADIATA PINE TIMBER STAKES: 50 X 50 X 500MM CCA TREATED RADIATA PINE-SHARPENED AT ONE END. INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TURF ALL LANDSCAPE AREAS AS SHOWN ON THE LANDSCAPE DRAWINGS. TURF IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM. OBTAIN TURF FROM AN APPROVED GROWER. FURNISH A WARRANTY FROM THE GROWER THAT THE TURF IS FREE FROM WEEDS AND OTHER FOREIGN MATTER. DELIVER TURF TO THE SITE WITHIN 24 HOURS OF BEING CUT, AND LAY IT WITHIN 24 HOURS OF BEING DELIVERED.

TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPORTING OF 100MM OF TURF UNDERLAY SOIL. REMOVE ALL STONES OVER 50MM Ø AND REMOVE ALL WEEDS AND FOREIGN MATTER. SPREAD SOIL MIX A.B.S TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS.

LAY THE TURF ALONG THE LAND CONTOURS WITH STAGGERED, CLOSE BUTTED JOINTS, SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH FOR SANDY OR LIGHT SOILS.

WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED, FERTILISE TWO WEEKS AFTER LAYING FERTILISE A.B.S.

'TOP DRESS' THE TURF WHEN IT IS ESTABLISHED TO A DEPTH OF 10MM WITH COARSE WASHED RIVER SAND. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

### LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, WATERING, MOWING, FERTILISING, RESEEDING, RETURFING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE CONTRACTOR SHALL ATTEND TO THE SITE ON A WEEKLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT WEEKLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING.

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

### PEST AND DISEASED CONTROL

THE LANDSCAPE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY THAT THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH "DYNAMIC LIFTER" FOR LAWNS AT A RATE OF 20KG PER 100M2. FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS SWARD. MOWING HEIGHT: 30-50MM.

## **WEED ERADICATION**

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE, AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND, WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

## **SOIL SUBSIDENCE**

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT

> DA REVISED KS MB 16.10.20 D DA REVISED KS MB 29.09.20 KS MB 27.05.20 Draft DA KS MB 21.01.20 B Draft DA A Draft DA KS MB 19.12.19 Issue Revision Description Drawn Check Date

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Authority requirements.

Not for Construction

## 1 EDEN PARK DRIVE **PUBLIC DOMAIN**

Macquarie Park **DEVELOPMENT APPLICATION** 

Scale

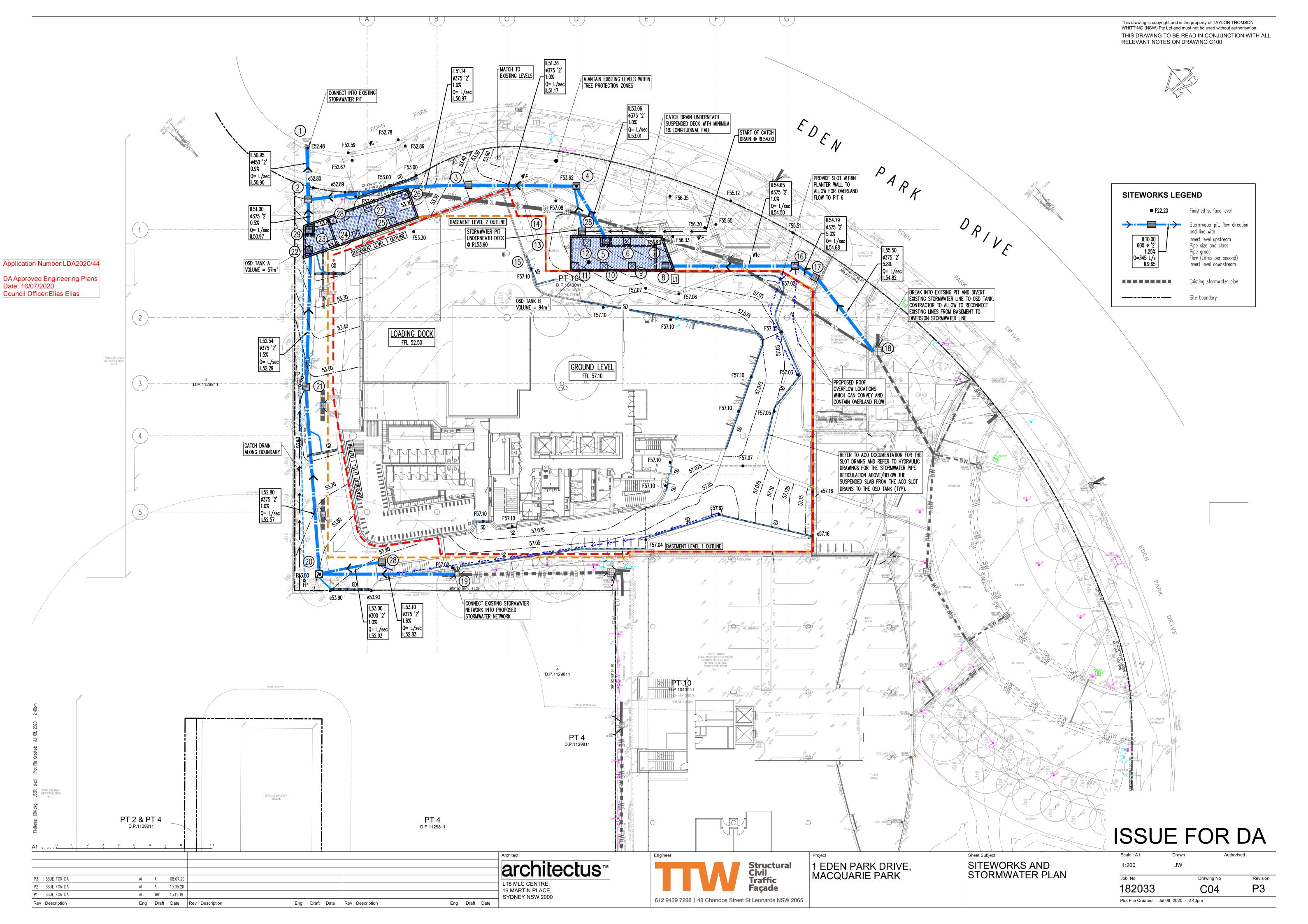
**Drawing Name** Drawing No. PD-701 LANDSCAPE **SPECIFICATIONS** 

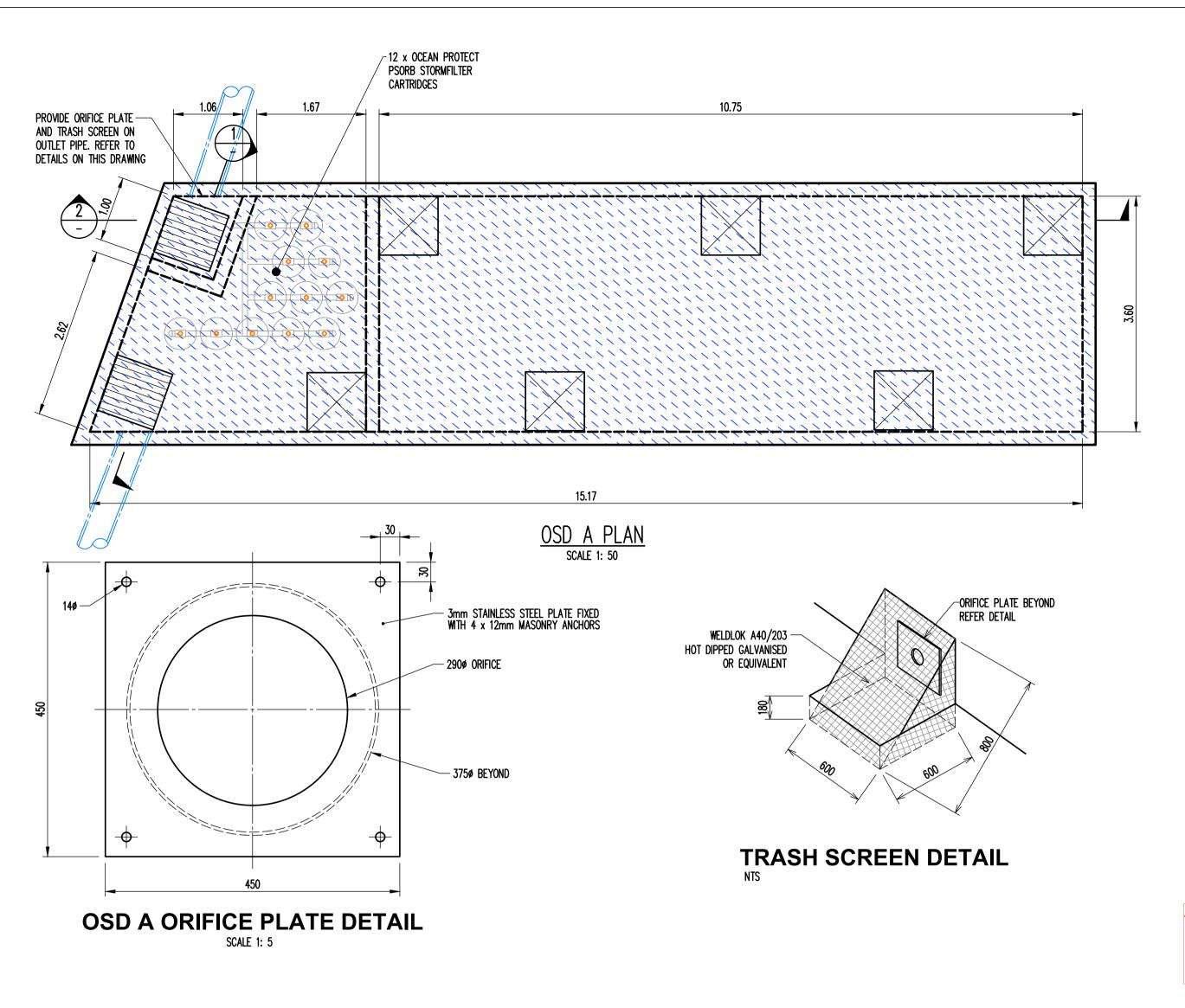
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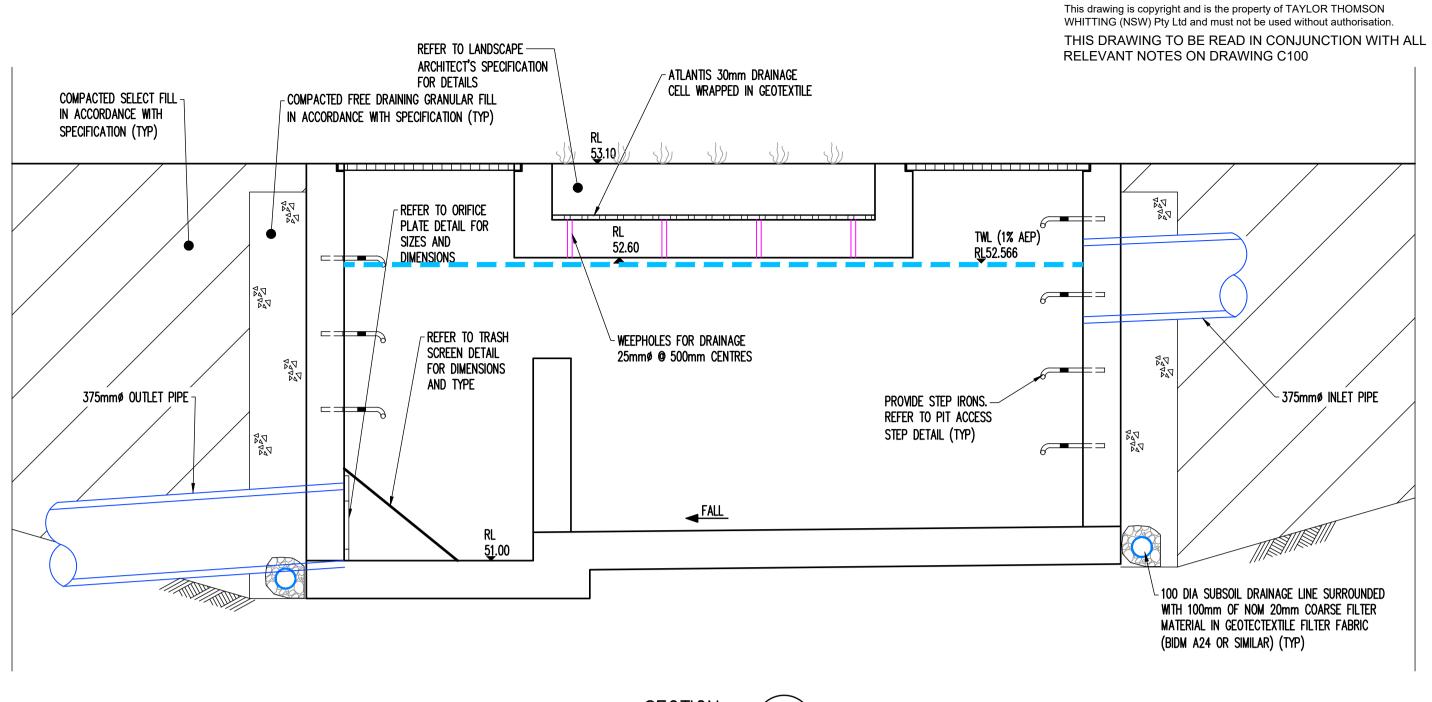
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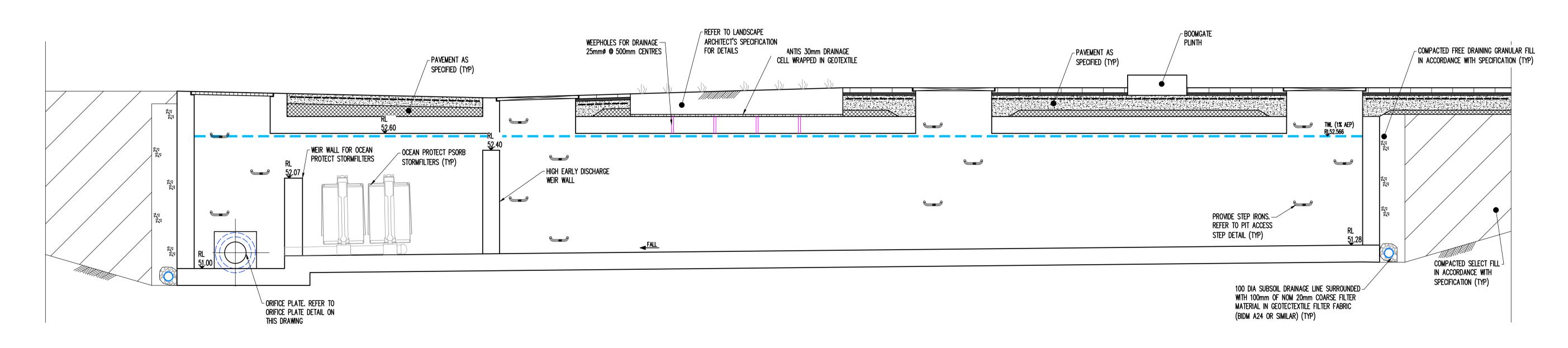




SECTION 1
CALE 1:20

Application Number:LDA2020/44

DA Approved Engineering Plans Date: 16/07/2020 Council Officer:Elias Elias



SECTION 2 SCALE 1:25 -

## ISSUE FOR DA

Architect

P2 ISSUE FOR DA
AI
AI
19.05.20

Rev Description

AI
AI
Date
Rev Description

Architect

Architect

L18 MLC CENTRE,
19 MARTIN PLACE,
SYDNEY NSW 2000

Applied Rev Description

Eng Draft Date
Rev Description

Eng Draft Date

Architect



1 EDEN PARK DRIVE, MACQUARIE PARK OSD TANK A DETAILS SHEET

Sheet Subject

Scale : A1	Drawn		Authorised	
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Job No		Drawing No		Revision
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